

Buncombe County Planning Board
July 20, 2015

The Buncombe County Planning Board met on July 20, 2015 in the meeting room at 30 Valley Street. Members present were Gene Bell, Nancy Waldrop, David Rittenberg, Thad Lewis, Joan Walker, Parker Sloan, and Bob Taylor. Also present were Michael Frue, Staff Attorney; Jon Creighton, Planning Director/Assistant County Manager; Debbie Truempy, Zoning Administrator; and Gillian Phillips, Planning staff.

Call to Order

The meeting was called to order at 9:34 am. The Board and staff discussed the procedure for a quasi-judicial public hearing.

Public Comment

No one wished to make public comment.

Minutes (July 6, 2015)

Ms. Waldrop made a motion to approve the minutes as submitted. Mr. Rittenberg seconded the motion and the motion passed unanimously.

Approval of Agenda

Mr. Sloan made a motion to approve the agenda as amended by Mr. Rittenberg to include discussion regarding North Carolina Fire Code. Ms. Walker seconded the motion and the motion passed unanimously.

SUB2015-00218: *Bruce Alexander was seeking preliminary approval for The Pinnacle at Arabella Heights Subdivision, which is located on tax lot PINs 9634-85-9115 (located at the end of Waightstill Dr) and 9634-94-5909 (located between Springhead Ct and the end of Welbourn Way). Mr. Alexander also sought variances from the following sections of the Buncombe County Land Development and Subdivision Ordinance:*

- a. *§70-66(g) Lot frontage, to waive the minimum street frontage requirements for the proposed lots.*
- b. *§70-68(a)(3)(b)(1)(a) Hillside Development Standards Drastic Variation Hillside Development Subdivision, to allow greater than 10% of the phase in Development Area A to be greater than 25% slope as Development Area B is not proposed to be developed.*

The Board was provided with the submitted development plan (Attachment A), the proposed staff conditions (Attachment B), the findings of fact worksheet (Attachment C), and the variance applications (Attachment D). Ms. Truempy indicated that this site had previously been graded by a different developer, but had remained in a graded but un-stabilized condition for the past

few years. Ms. Truempy indicated that the applicant was constructing 65 homes including a clubhouse, and had received approval from the Buncombe County Board of Adjustment for a Planned Unit Development. Ms. Truempy reviewed the proposal with the Board, and the requested variances. Bruce Alexander was present and described the proposed project to the Board. John Kinnaird, the project engineer, was present and described the proposal including erosion control and stormwater issues, the status of the infrastructure, and the reasoning for requesting the variances. There was discussion regarding the drastic variation hillside development standards and how the requested variance related to those standards. The Board and Mr. Kinnaird discussed how the site was currently graded and the location of steeper slopes that were due to grading and not the natural slope of the land. The Board and applicant discussed how parking would be handled and the applicant's stormwater plans. There was discussion regarding the Board of Adjustment approval and the proposed lots in relation to the footprint of the proposed homes. The Board, Applicant, and staff discussed the standards for granting a variance for each of the proposed variances.

Public comment

- Al Gumpert raised concerns regarding allowing the development without meeting the requirements of the Drastic Variation Hillside Development.
- Dede Stiles seconded Mr. Gumpert's concerns regarding the Hillside Development Standards.
- One of the members of the Waighstill Mountain Homeowners Association Board was present and indicated that the Homeowner's Association supported the proposed project

The Board further discussed the application. Chairman Bell closed the public hearing. The Board voted on the variance from §70-66(g) Lot frontage, to waive the minimum street frontage requirements for the proposed lots. Mr. Sloan made a motion to approve the findings of fact provided in Attachment C. Ms. Waldrop seconded the motion and the motion passed unanimously. Mr. Sloan made a motion to approve the variance. Ms. Waldrop seconded the motion and the motion passed unanimously. The Board voted on the variance from §70-68(a)(3)(b)(1)(a) Hillside Development Standards Drastic Variation Hillside Development Subdivision, to allow greater than 10% of the phase in Development Area A to be greater than 25% slope as Development Area B is not proposed to be developed. Ms. Walker made a motion to approve the findings of fact provided in Attachment C. Mr. Rittenberg seconded the motion and the motion passed unanimously. Ms. Walker made a motion to approve the variance. Mr. Sloan seconded the motion and the motion passed unanimously. Ms. Walker made a motion to grant preliminary approval with the proposed staff conditions. Mr. Rittenberg seconded the motion and the motion passed unanimously.

Public Hearing (Zoning Map Amendment) ZPH2015-00031: *Jeremy and Charles Arthur applied to rezone tax lot PINs 9634-12-9736 (South of 131 Avery Creek Rd), 9634-12-9938 (131 Avery Creek Rd), 9634-13-9128 (133 Avery Creek Rd), and 9634-13-9325 (North of 133 Avery Creek Rd), which are currently zoned Low-Density Residential District R-LD to Residential District R-2.*

The Board was provided with GIS maps (Attachment E) and the staff's recommendation (Attachment F) prior to the hearing. Ms. Truempy reviewed the application, and staff's recommendation to the Board.

Public comment

- Sally Sparks raised concerns regarding traffic.
- Maryland Hoshasemen also raised concerns regarding traffic.

David Rittenberg raised general concerns regarding traffic in the county. There was discussion regarding how the North Carolina Department of Transportation regulated and upgraded roads.

- Dede Stiles again raised concerns regarding how traffic affects development, and indicated that the Planning Board should bring that into consideration when reviewing a proposed development.

Chairman Bell closed the public hearing. Mr. Lewis made a motion to recommend approval of the proposed map amendment with the proposed consistency statement provided within Attachment F. Ms. Waldrup seconded the motion and the motion passed unanimously.

ZPH2015-00021: Continued discussion of possible revisions to the text of the Blue Ridge Parkway Zoning Overlay District

The Board was provided with draft language for the Blue Ridge Parkway Overlay (Attachment G). There was discussion regarding Mr. Martin's proposed screening requirements, and the proposal that subdivision roads within the overlay be screened. The Board discussed further changes that they would like to make to the proposed language with staff.

Discussion of Fire Code

Mr. Rittenberg provided the Board with a portion of the North Carolina Fire Code (Attachment H) that had not been adopted by Buncombe County. Mr. Frue and staff indicated to the Board the County Commissioners and Fire Marshal's Office reasoning at that time for not adopting that section of the code. There was discussion regarding how Terry Gentry, the deputy County Fire Marshal, reviewed development projects. The Board discussed the NCDOT's review process in granting driveway permits for developments. There was discussion regarding infrastructure cost and how requiring additional infrastructure raised the cost of development.

The Board further discussed proposed training by the North Carolina School of Government.

Adjournment

The meeting was adjourned at 11:45 am.

ATTACHMENT A

THE PINNACLE AT ARABELLA HEIGHTS

CONDITIONAL USE DOCUMENTS

BUNCOMBE COUNTY, NORTH CAROLINA

Buncombe County
Planning and Development
Received
JUN 19 2015
46 Valley Street
Asheville, NC 28801
828-250-4830

NOTES

PROJECT INFORMATION:

1. PROJECT ADDRESS: LEDBETTER ROAD, ARDEN, NC 28704
2. TOTAL ACREAGE: 18.55 ACRES.
3. DISTURBED ACREAGE: 14.10 ACRES.
4. PROJECT PIN NUMBERS: 9634-85-9115 & 9634-94-5909.
5. PROJECT LOCATION: LAT: 35°28'12"N LON: 82°33'52"W.
6. EXISTING TOPOGRAPHICAL INFORMATION SHOWN WAS PROVIDED BY ED HOLMES AND ASSOC. LAND SURVEYORS, PA.
7. EXISTING BOUNDARY INFORMATION SHOWN WAS PROVIDED BY ED HOLMES AND ASSOC. LAND SURVEYORS, PA.
8. EXISTING ROADS, UTILITIES, NAD INFRASTRUCTURE SHOWN AS DELINEATED BY ED HOLMES AND ASSOC. LAND SURVEYORS, PA.
9. PROPERTY ZONING: RESIDENTIAL SINGLE-FAMILY LOW DENSITY DISTRICT (R-2).

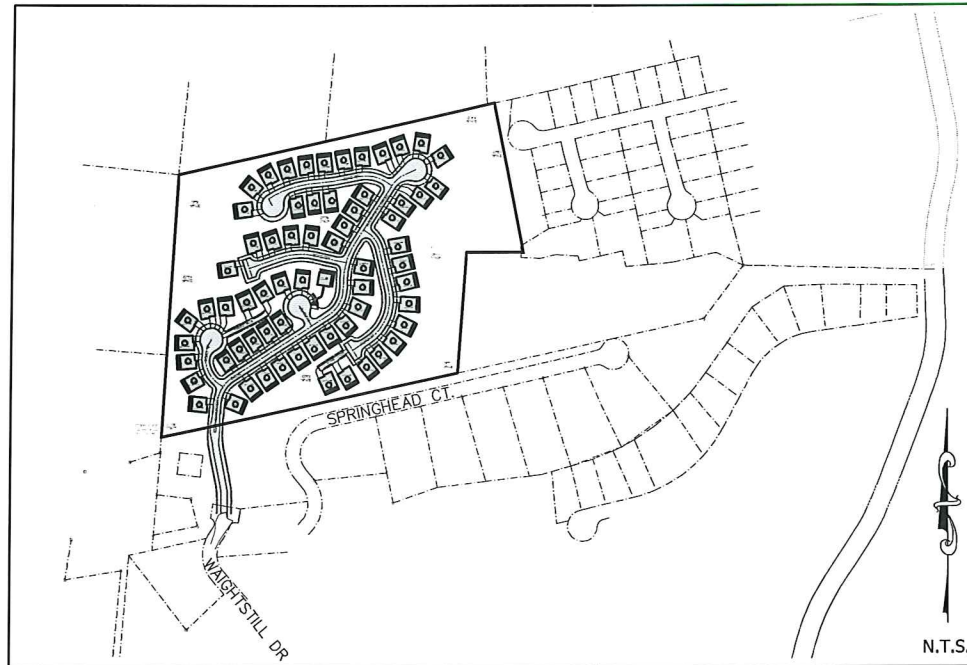
GENERAL NOTES:

1. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGES WHICH OCCUR DURING CONSTRUCTION.
2. LOCATION OF ALL EXISTING UTILITIES, AS SHOWN HEREON, ARE APPROXIMATE ONLY. NO GUARANTEE IS MADE OR IMPLIED BY THE LOCATION REFLECTED IN THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE, SIZE AND LOCATION OF ALL UTILITIES AND OTHER FEATURES WHICH MAY AFFECT CONSTRUCTION OR THE INTENDED FUNCTION OF THE DESIGN. CONTRACTOR SHALL NOTIFY DESIGNER PRIOR TO CONSTRUCTION IF EXISTING CONDITIONS DIFFER FROM THAT INDICATED IN THE PLANS.
3. CONTRACTOR TO PROVIDE INLET PROTECTION AT EACH PIPE INLET AS STORM SYSTEM IS CONSTRUCTED.
4. ALL GRADING, EROSION CONTROL AND STORMWATER OPERATIONS AND INSTALLATIONS MUST BE DONE IN ACCORDANCE WITH BUNCOMBE COUNTY STANDARD SPECIFICATIONS AND DETAILS.
5. NO STREAM OR WETLAND DISTURBANCE SHALL OCCUR WITHOUT A ARMY CORPS OF ENGINEERS PERMIT.
6. A PRECONSTRUCTION MEETING BETWEEN THE OWNER, THE CONTRACTOR, AND THE DESIGN ENGINEER SHALL BE CONDUCTED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
7. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
8. EXCESS CUT MATERIAL DEVELOPED IN THE CONSTRUCTION OF THIS SITE SHALL BE DISPOSED OF IN AN APPROPRIATELY PERMITTED SPOIL SITE. CONTRACTOR TO PROVIDE PROOF OF PERMITS PRIOR TO CONSTRUCTION.
9. ANY ALTERATION TO THE PLANS MUST BE APPROVED BY THE PROJECT ENGINEER, OR APPROPRIATE AGENCY PRIOR TO THE COMMENCEMENT OF WORK.
10. THE CONTRACTOR SHALL OBTAIN, AND PAY FOR, PRIOR TO BEGINNING ANY WORK, ALL PERMITS AND LICENSES NECESSARY TO ACCOMPLISH THE WORK.
11. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ADEQUATE SUPERVISION TO PREVENT DAMAGE AND MOVEMENT FROM EQUIPMENT WORKING AROUND CONSTRUCTION STAKES. THESE CONSTRUCTION STAKES SHALL REMAIN IN PLACE AND BE PROTECTED UNTIL OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED LAND SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
12. THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD, IT IS SPECIFICALLY UNDERSTOOD THAT HE DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION, SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION, RESPONSIBILITY FOR SCHEDULING THE WORK FOR INSURING COMPLETE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR ALL CODE REQUIREMENTS, RULES AND REGULATION OF ANY PUBLIC OR PRIVATE AUTHORITY HAVING JURISDICTION OVER THE WHOLE OR ANY PART OF THE WORK. IN ADDITION, THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.

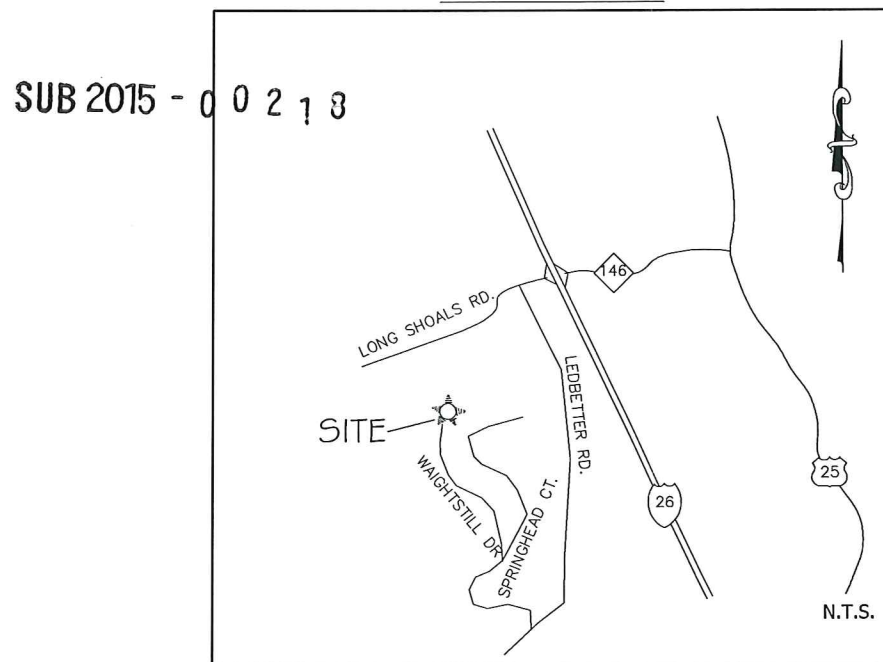
INSPECTION SCHEDULE:

1. NO CONSTRUCTION SHALL COMMENCE PRIOR TO A PRECONSTRUCTION MEETING WITH THE PROJECT ENGINEER, THE CONTRACTOR, AND A REPRESENTATIVE OF BUNCOMBE COUNTY.
2. NO EQUIPMENT SUBSTITUTION SHALL BE MADE WITHOUT MANUFACTURER(S) AND PROJECT ENGINEER'S APPROVAL.
3. FINAL INSPECTION SHALL COMMENCE AFTER SITE STABILIZATION.

PROJECT MAP



VICINITY MAP



PROJECT INFO

DEVELOPER: LIFESTYLE HOMES OF DISTINCTION, LLC
CONTACT INFO: BRUCE ALEXANDER
 2 WALDEN RIDGE DR.
 SUITE 90
 ASHEVILLE, NC 28803
 P: 828-274-1004

OWNER: SAN JUAN PROFESSIONAL CENTER, LLC
CONTACT INFO: 840 EDGEWOOD AVE S
 SUITE 220
 JACKSONVILLE, FL 32205
 P: 828-606-4313

ENGINEER: BROOKS ENGINEERING ASSOCIATES, PA
CONTACT INFO: CONTACT: JOHN KINNAIRD, PE
 17 ARLINGTON STREET
 ASHEVILLE, NC 28801
 Phone: 1-828-232-4700
 P: 828-232-4700
 EMAIL: jkinnaird@brooksea.com

SURVEYOR: ED HOLMES & ASSOC. LAND SURVEYORS, PA
CONTACT INFO: CONTACT: ED HOLMES, PLS
 200 RIDGEFIELD CT. #215
 ASHEVILLE, NC 28806
 P: 828-225-6562

SHEET INDEX

SHEET NO.:	SHEET TITLE
C-0	COVER SHEET
M-1	MASTER PLAN WITH SLOPE ANALYSIS
C-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-2.0	SITE LAYOUT PLAN
C-3.0	GRADING AND STORMWATER PLAN
C-4.0	ROAD PROFILES
C-5.0	EROSION CONTROL PLAN
C-6.0	UTILITY PLAN
C-7.1	SITE AND LANDSCAPING DETAILS
C-7.2	STORMWATER DETAILS
C-7.3	UTILITY DETAILS
C-7.4	EROSION CONTROL DETAILS
L-1.0	LANDSCAPE PLAN

	REVISIONS/SUBMISSIONS No. 1 SUBMITTAL TO BOARD OF ADJUSTMENTS SUBMITTAL TO PLANNING BOARD	Date 6-08-15 6-19-15
	NOT FOR CONSTRUCTION	
	Reviewed: JHK AS NOTED Date: 6-08-15	17 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com
Project No: 417515	Drawing Title: C-0 COVER SHEET	THE PINNACLE AT ARABELLA HEIGHTS CONDITIONAL USE DOCUMENTS BUNCOMBE COUNTY NORTH CAROLINA

SITE NOTES

- PROPERTY SIZE: 18.55 ACRES.
- PIN: 9634-85-9115 & 9634-84-5909
- ZONING: R-2
- AVERAGE NATURAL SLOPE: 24.5%
- TOTAL BUILDING SQUARE FOOTAGE: APPROXIMATELY 160,000 SQ. FT.
- TOTAL NUMBER OF BUILDINGS: 66 (65 UNITS + 1 CLUBHOUSE).
- DENSITY: 65 UNITS / 18.55 ACRES = 3.50 UNITS PER ACRE.
- TOTAL OPEN SPACE (EXCLUDES RIGHT OF WAY): 11.5 ACRES.
- INDIVIDUAL HOMES WILL BE SOLD, BUT ALL LAND SURROUNDING THE UNITS INCLUDING YARDS, ROADWAYS AND INFRASTRUCTURE WILL BE OWNED AND MAINTAINED BY THE HOA.
- ALL ROADS WILL BE PRIVATE.
- ALL ROADS SHALL CONFORM TO NORTH CAROLINA G.S. 136-102.6 AND NCDOT REQUIREMENTS.
- LINEAR FEET OF ROAD: 2,760
- NO ROAD CORRIDORS EXCEED 90 FEET IN WIDTH.
- ALL PAVEMENT STRIPING SHALL BE THERMOPLASTIC MEETING NCDOT STANDARDS AND/OR CITY BUNCOMBE COUNTY STANDARDS.
- LANDSCAPE CONTRACTOR MUST COORDINATE THE LOCATION OF THE TREES TO AVOID EXISTING AND PROPOSED SEWER LINES AND SEWER LINE EASEMENTS. NO TREES ARE ALLOWED TO BE PLANTED IN SUCH EASEMENTS.
- DIMENSIONS SHOWN ARE FROM BACK OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- DEVELOPMENT SCHEDULE:
 - CONSTRUCTION IS PLANNED TO BEGIN IN AUGUST OF 2015.
 - SITE WORK IS PLANNED TO BE COMPLETE WITHIN 12 MONTHS OF START DATE.
 - VERTICAL HOME CONSTRUCTION IS ESTIMATED TO BE COMPLETE BY 2019.
- PARKING CALC:
 - EACH UNIT WILL HAVE TWO PARKING SPACES IN THE DRIVEWAY FOR A TOTAL OF 128 SPACES.
 - THE CLUBHOUSE WILL HAVE 3 PARKING SPACES AS SHOWN.

PUD NOTES

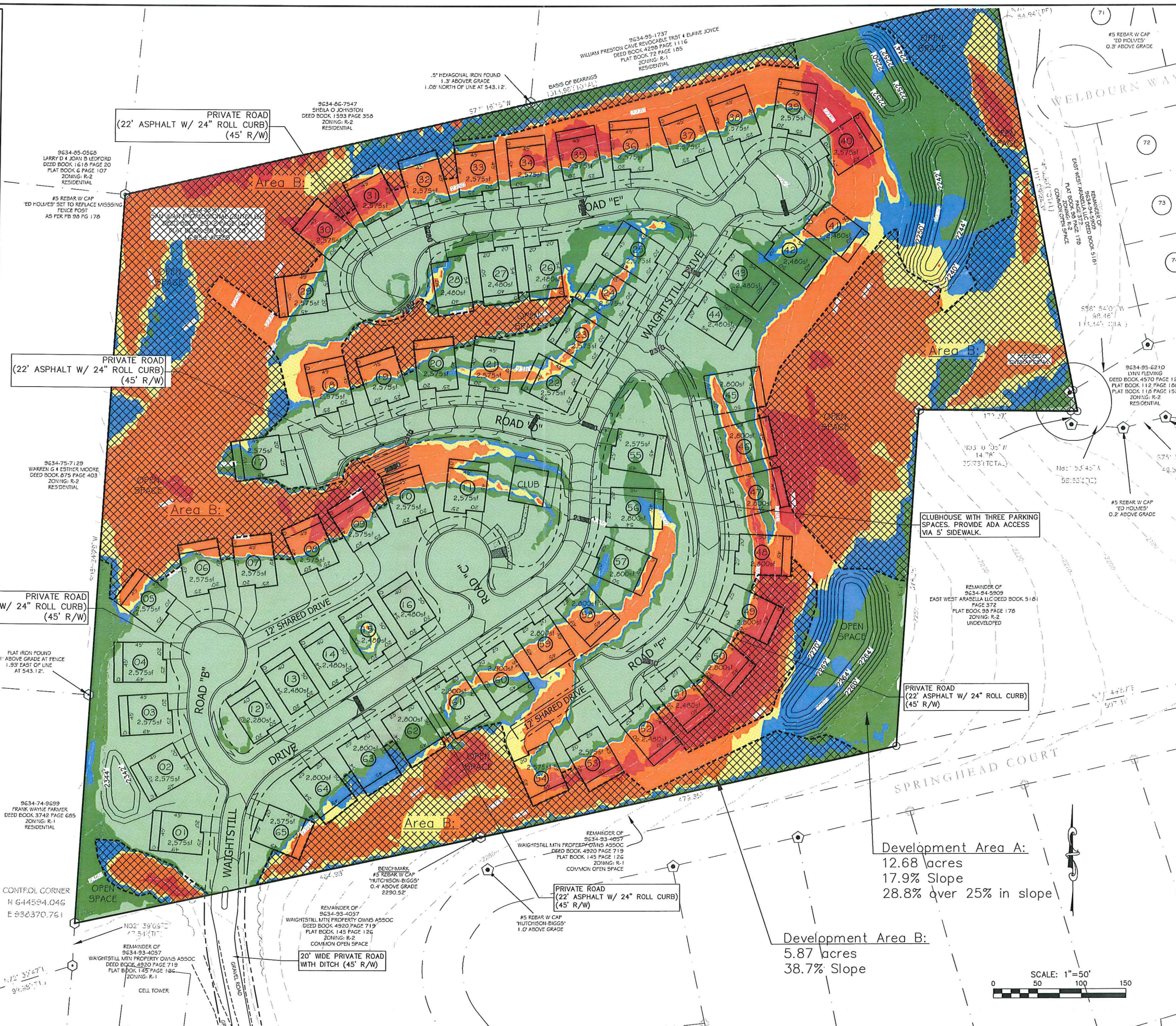
- PROPOSED PROPERTY LINES ARE THE SAME AS THE PROPOSED BUILDING FOOTPRINTS.
- SETBACKS FOR INTERIOR LOTS ARE REQUESTED TO BE 0'.
- SETBACKS FOR THE EXTERIOR PROPERTY LINE WILL BE THE MOST RESTRICTIVE FOR ZONE R-2 (20')
- ALL AREAS OUTSIDE OF BUILDING LINES WILL BE COMMON OPEN SPACE AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

SLOPE NOTES

- PROPERTY SIZE: 18.55 ACRES
- AVERAGE NATURAL SLOPE: 24.5%
- PERCENT OF PROPERTY OVER 35% SLOPE: 6.23 AC. (33.6%)
- PROPERTY IS A DRASTIC VARIATION HILLSIDE DEVELOPMENT.
- PROPERTY SLOPE SUMMARY:
 - 0-15%: 7.37 AC. (39.7%)
 - 15-25%: 2.13 AC. (11.5%)
 - 25-30%: 1.67 AC. (8.5%)
 - 30-35%: 1.25 AC. (6.7%)
 - 35-50%: 4.80 AC. (25.9%)
 - 50%+: 1.43 AC. (7.7%)
- A VARIANCE IS REQUESTED FROM THE DRASTIC VARIATION HILLSIDE DEVELOPMENT ORDINANCE.
- NO DEVELOPMENT IS OCCURRING IN AREAS DESIGNATED A HIGH OR MODERATE HAZARD ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP. SEE APPLICATION FOR MAP.
- DRASTIC VARIATION HILLSIDE DEVELOPMENT DETAILS:
 - DEVELOPMENT AREA A:
 - A VARIANCE IS REQUESTED TO ALLOW DEVELOPMENT AREA A TO HAVE 71.2% OF ITS AREA TO BE STEEPER THAN 25%
 - THE OVERALL SLOPE FOR DEVELOPMENT AREA A IS LESS THAN 25% AT 17.9%
 - DEVELOPMENT AREA B:
 - THE OVERALL SLOPE FOR DEVELOPMENT AREA B IS 38.7%

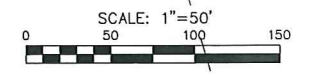
SITE PLAN LEGEND

- EXIST. BOUNDARY
- EXIST. EASEMENT
- EXIST. BUILDING SETBACK
- EXIST. ASPHALT
- EXIST. PROPERTY ADJOINER
- EXISTING SEWER EASEMENT
- NEW STRIPING
- NEW PAVING
- NEW BUILDING
- PROPOSED RIGHT OF WAY
- 24" ROLL VALLEY CURB
- TREELINE

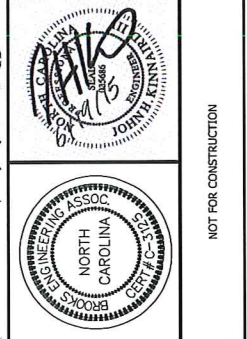


Development Area A:
12.68 acres
17.9% Slope
28.8% over 25% in slope

Development Area B:
5.87 acres
38.7% Slope

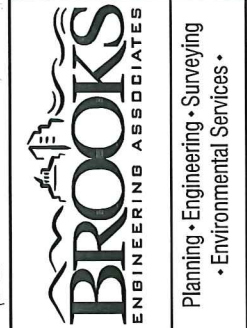


Date	REVISIONS/SUBMISSIONS
6-08-15 <td>SUBMITTAL TO BOARD OF ADJUSTMENTS</td>	SUBMITTAL TO BOARD OF ADJUSTMENTS
6-19-15 <td>SUBMITTAL TO PLANNING BOARD</td>	SUBMITTAL TO PLANNING BOARD



Designed: JHK
Drawn: JHK
Checked: JHK
Reviewed: JHK
Scale: AS NOTED
Date: 6-08-15

17 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brooksassoc.com



Project No: 417515
M-1
Drawing Title: MASTER PLAN WITH SLOPE ANALYSIS

THE PINNACLE AT ARABELLA HEIGHTS
CONDITIONAL USE DOCUMENTS

NORTH CAROLINA
BUNCOMBE COUNTY

Planning • Engineering • Surveying
• Environmental Services •

Revision/Submission number with a triangle indicates changes made on this sheet

NOT FOR CONSTRUCTION

SITE NOTES

1. PROPERTY SIZE: 18.55 ACRES.
2. PIN: 9634-85-9115 & 9634-94-5909
3. ZONING: R-2
4. AVERAGE NATURAL SLOPE: 24.5%
5. A GLOBAL STABILITY ANALYSIS SHALL BE PERFORMED BY A GEOTECHNICAL ENGINEER FOR ANY HOUSE SITES ON A 35% OR GREATER SLOPE OR IN AN AREA DESIGNATED AS HIGH OR MODERATE HAZARD ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP.
6. NO FILL SLOPES SHALL BE STEEPER THAN 2:1 NOR SHALL CUT SLOPES BE STEEPER THAN 1.5:1.
7. TOTAL BUILDING SQUARE FOOTAGE: APPROXIMATELY 160,000 SQ. FT.
8. TOTAL NUMBER OF BUILDINGS: 66 (65 UNITS + 1 CLUBHOUSE).
9. DENSITY: 65 UNITS / 18.55 ACRES = 3.50 UNITS PER ACRE.
10. TOTAL OPEN SPACE (EXCLUDES RIGHT OF WAY): 11.5 ACRES.
11. INDIVIDUAL HOMES WILL BE SOLD, BUT ALL LAND SURROUNDING THE UNITS INCLUDING YARDS, ROADWAYS AND INFRASTRUCTURE WILL BE OWNED AND MAINTAINED BY THE HOA.
12. ALL ROADS WILL BE PRIVATE.
13. ALL ROADS SHALL CONFORM TO NORTH CAROLINA G.S. 136-102.6 AND NODOT REQUIREMENTS.
14. LINEAR FEET OF ROAD: 2,760.
15. NO ROAD CORRIDORS EXCEED 90 FEET IN WIDTH.
16. ALL PAVEMENT STRIPING SHALL BE THERMOPLASTIC MEETING NODOT STANDARDS AND/OR CITY BUNCOMBE COUNTY STANDARDS.
17. LANDSCAPE CONTRACTOR MUST COORDINATE THE LOCATION OF THE TREES TO AVOID EXISTING AND PROPOSED SEWER LINES AND SEWER LINE EASEMENTS, NO TREES ARE ALLOWED TO BE PLANTED IN SUCH EASEMENTS.
18. DIMENSIONS SHOWN ARE FROM BACK OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
19. DEVELOPMENT SCHEDULE:
- 19.1. CONSTRUCTION IS PLANNED TO BEGIN IN AUGUST OF 2015.
- 19.2. SITE WORK IS PLANNED TO BE COMPLETE WITHIN 12 MONTHS OF START DATE.
- 19.3. VERTICAL HOME CONSTRUCTION IS ESTIMATED TO BE COMPLETE BY 2018.
20. PARKING CALCS:
- 20.1. EACH UNIT WILL HAVE TWO PARKING SPACES IN THE DRIVEWAY FOR A TOTAL OF 128 SPACES.
- 20.2. THE CLUBHOUSE WILL HAVE 3 PARKING SPACES AS SHOWN.

PUD NOTES

1. PROPOSED PROPERTY LINES ARE THE SAME AS THE PROPOSED BUILDING FOOTPRINTS.
2. SETBACKS FOR INTERIOR LOTS ARE REQUESTED TO BE 0'.
3. SETBACKS FOR THE EXTERIOR PROPERTY LINE WILL BE THE MOST RESTRICTIVE FOR ZONE R-2 (20').
4. ALL AREAS OUTSIDE OF BUILDING LINES WILL BE COMMON OPEN SPACE AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

SITE PLAN LEGEND

- EXIST. BOUNDARY
- - - EXIST. EASEMENT
- - - EXIST. BUILDING SETBACK
- EXIST. ASPHALT
- - - EXIST. PROPERTY ADJOINER
- - - EXISTING SEWER EASEMENT
- - - NEW STRIPING
- ▨ NEW PAVING
- ▨ NEW BUILDING
- - - PROPOSED RIGHT OF WAY
- 24" ROLL VALLEY CURB
- TREELINE

PROPOSED TREELINE TO REMAIN AFTER CONSTRUCTION TO ACT AS A NATURAL BUFFER (TYP)

PRIVATE ROAD (22' ASPHALT W/ 24" ROLL CURB) (45' R/W)

PRIVATE ROAD (22' ASPHALT W/ 24" ROLL CURB) (45' R/W)

PRIVATE ROAD (22' ASPHALT W/ 24" ROLL CURB) (45' R/W)

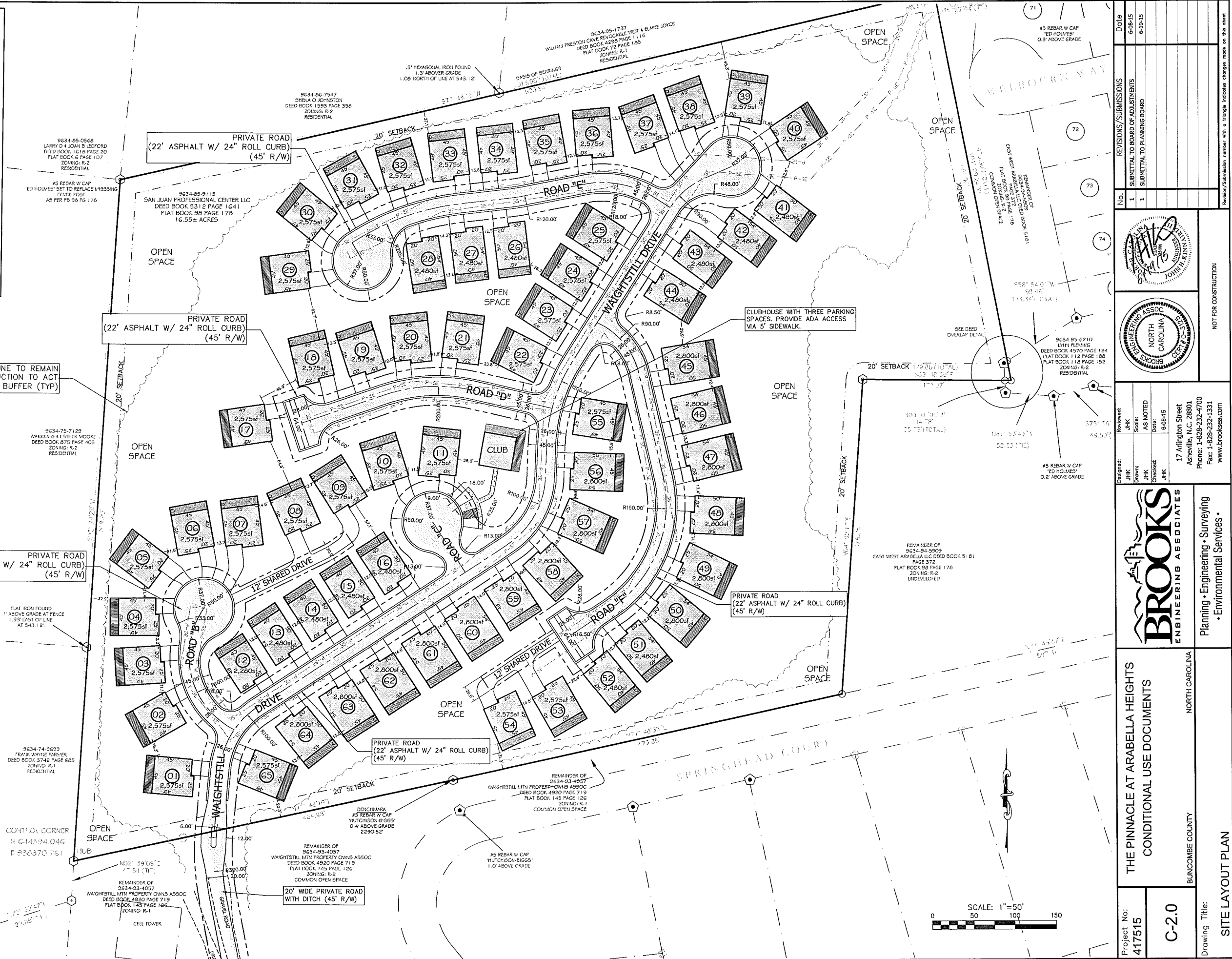
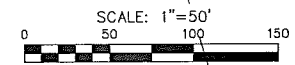
CLUBHOUSE WITH THREE PARKING SPACES. PROVIDE ADA ACCESS VIA 5' SIDEWALK.

PRIVATE ROAD (22' ASPHALT W/ 24" ROLL CURB) (45' R/W)

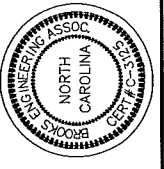
PRIVATE ROAD (22' ASPHALT W/ 24" ROLL CURB) (45' R/W)

20' WIDE PRIVATE ROAD WITH DITCH (45' R/W)

CONTROL CORNER N 644524.046 E 828370.761



No.	REVISIONS/SUBMISSIONS	Date
1	SUBMITTAL TO BOARD OF ADJUSTMENTS	6-08-15
1	SUBMITTAL TO PLANNING BOARD	6-09-15



Designated:
 JKH
 Drawn:
 JKH
 Checked:
 JKH
 Scale:
 AS NOTED
 Date:
 6-08-15
 17 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
 Fax: 1-828-232-1331
 www.brookseng.com

BROOKS
 ENGINEERING ASSOCIATES
 Planning • Engineering • Surveying
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Project No: 417515
 C-2.0
 THE PINNACLE AT ARABELLA HEIGHTS
 CONDITIONAL USE DOCUMENTS
 NORTH CAROLINA
 BUNCOMBE COUNTY
 Drawing Title:
 SITE LAYOUT PLAN

Revision/Submission number with a triangle indicates changes made on this sheet

NOT FOR CONSTRUCTION

STORMWATER / GRADING NOTES

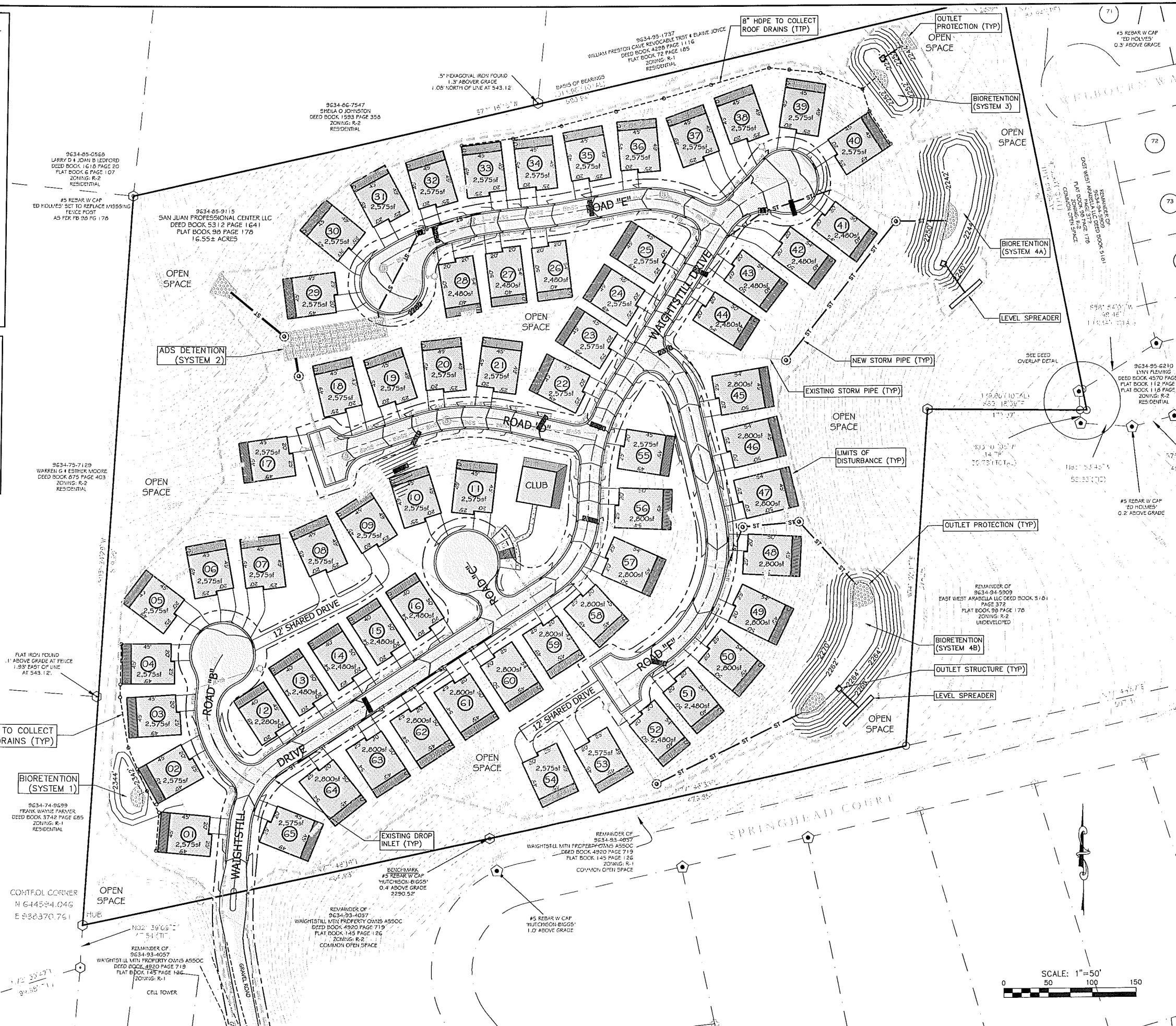
1. NO ROADS ARE PLANNED TO BE CONSTRUCTED IN AREAS IN EXCESS OF 30% OR IN AREAS DENOTE AS HIGH OR MODERATED HAZARD ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP.
2. ALL STORM DRAINAGE PIPING SHALL BE DOUBLE WALL HDPE UNLESS OTHERWISE NOTED, AND INSTALLED PER BUNCOMBE COUNTY STANDARDS, AND MANUFACTURER'S STANDARDS AND SPECIFICATIONS.
3. PIPE MATERIAL SHALL MEET THE PRODUCT SPECIFICATIONS OF ASTM F667 AND SHALL HAVE SMOOTH INTERIOR.
4. ALL STORM DRAINAGE INLETS SHALL BE PER BUNCOMBE COUNTY STANDARDS AND SPECIFICATIONS.
5. MINIMUM COVER ON STORM SEWER PIPE SHALL BE 2.0 FEET.
6. CATCH BASINS BETWEEN 5 AND 20 FEET IN DEPTH SHALL HAVE MINIMUM INTERIOR DIMENSIONS OF 4 FEET BY 4 FEET, AND THOSE OVER 20 FEET IN DEPTH SHALL HAVE MINIMUM INTERIOR DIMENSIONS OF 5 FEET BY 5 FEET.
7. SANITARY SEWERS SHALL HAVE THE TOP OF THE PIPE AT LEAST 12 INCHES BELOW THE BOTTOM OF STORM SEWER PIPE WHEN THE HORIZONTAL SEPARATION BETWEEN THE CLOSEST EDGES OF THE TWO PIPES IS 3 FEET OR LESS. WHERE SANITARY AND STORM SEWERS CROSS WITH A VERTICAL SEPARATION OF LESS THAN 12 INCHES, THE ENTIRE LEG OF SANITARY SEWER SHALL BE OF WATER MAIN STANDARD DUCTILE IRON PIPE.
8. THE CONTRACTOR SHALL PRE-SET ALL MANHOLE COVERS, CATCH BASIN GRATES AND OTHER UTILITY ACCESS COVERS TO FINISH PAVEMENT SURFACE OR SIDEWALK GRADE.
9. ALL SOILS ON THE PROPERTY ARE: EwD & EwE.

STORMWATER CALCULATIONS

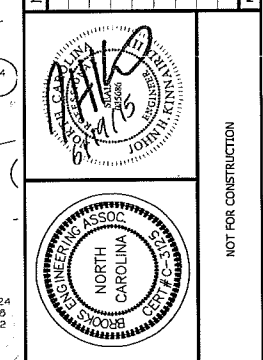
1. PROPERTY SIZE: 18.55 ACRES.
2. NUMBER OF UNITS: 65
3. DENSITY: 3.50 UNITS / AC
4. EXISTING IMPERVIOUS AREA: 0 AC (0%)
5. PROPOSED IMPERVIOUS:
 - 5.1. ROOFTOPS: 3.67 AC (19.8%)
 - 5.2. DRIVES / HARDSCAPE: 0.74 (4.0%)
 - 5.3. ROADS: 1.75 AC (9.4%)
 - 5.4. TOTAL: 6.16 AC (33.2%)
6. OTHER PROPOSED GROUND COVER
 - 6.1. TREES: 3.95 AC (21.3%)
 - 6.2. GRASS / LAWN: 8.44 AC (45.5%)
7. PROJECT CLASSIFICATION: HIGH DENSITY
8. EXISTING CONDITIONS 1 YEAR PEAK:
9. PROPOSED PRE-DETENTION 1 YEAR PEAK:
10. PROPOSED POST-DETENTION 1 YEAR PEAK:

GRADING & STORMWATER LEGEND

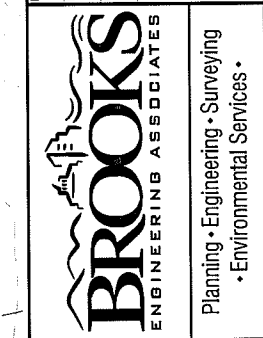
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- EXIST. CONTOURS (MAJOR)
- EXIST. CONTOUR (LABELS)
- EXIST. BOUNDARY
- EXIST. SANITARY SEWER
- EXIST. SEWER EASEMENT
- EXIST. OVERHEAD UTILITIES
- EXIST. EDGE OF ASPHALT
- EXIST. PROPERTY ADJOINER
- NEW CONTOURS (MINOR)
- NEW CONTOURS (MAJOR)
- 2100' NEW CONTOURS (LABELS)
- 84.9'+ NEW SPOT ELEVATION
- NEW BUILDING
- NEW ASPHALT PAVING
- NEW STORM PIPE
- NEW DROP INLET
- NEW CURB INLET
- NEW JUNCTION BOX
- OUTLET PROTECTION
- LIMITS OF DISTURBANCE



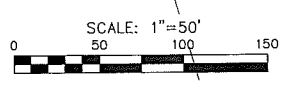
Date	REVISIONS/SUBMISSIONS
6-08-15	1. SUBMITTAL TO BOARD OF ADJUSTMENTS
6-19-15	1. SUBMITTAL TO PLANNING BOARD



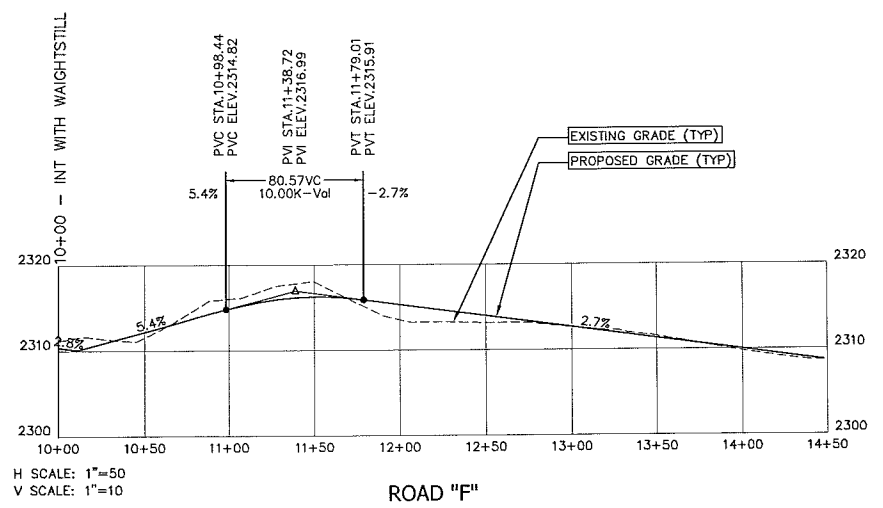
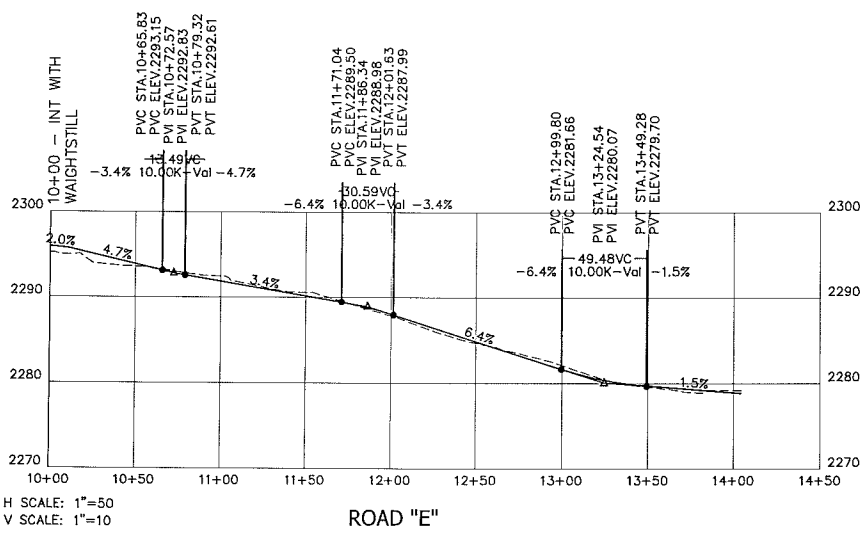
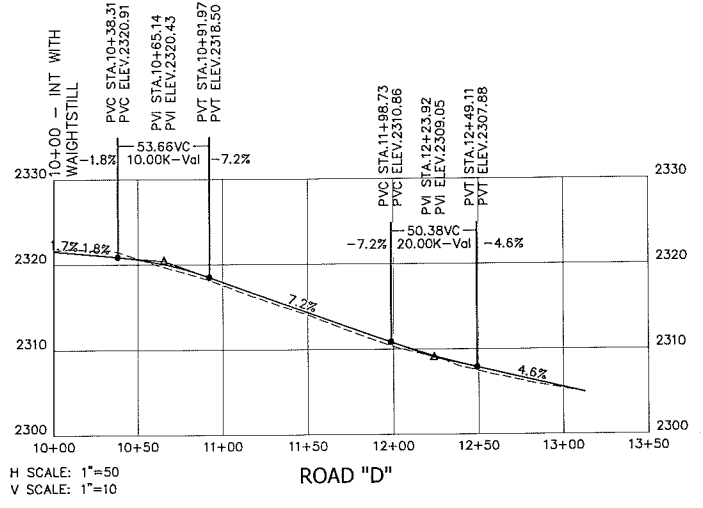
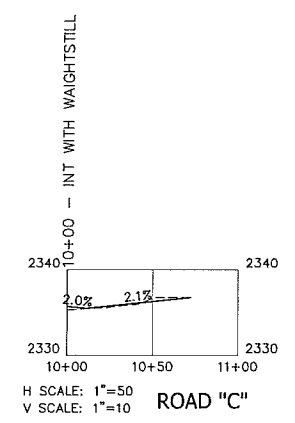
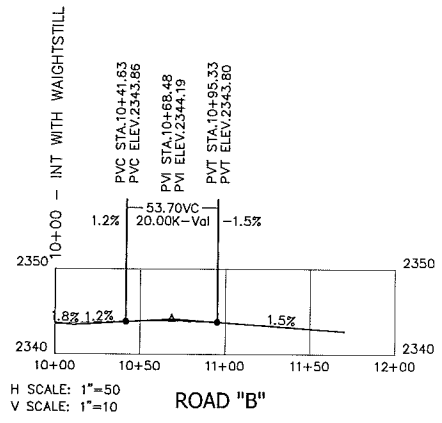
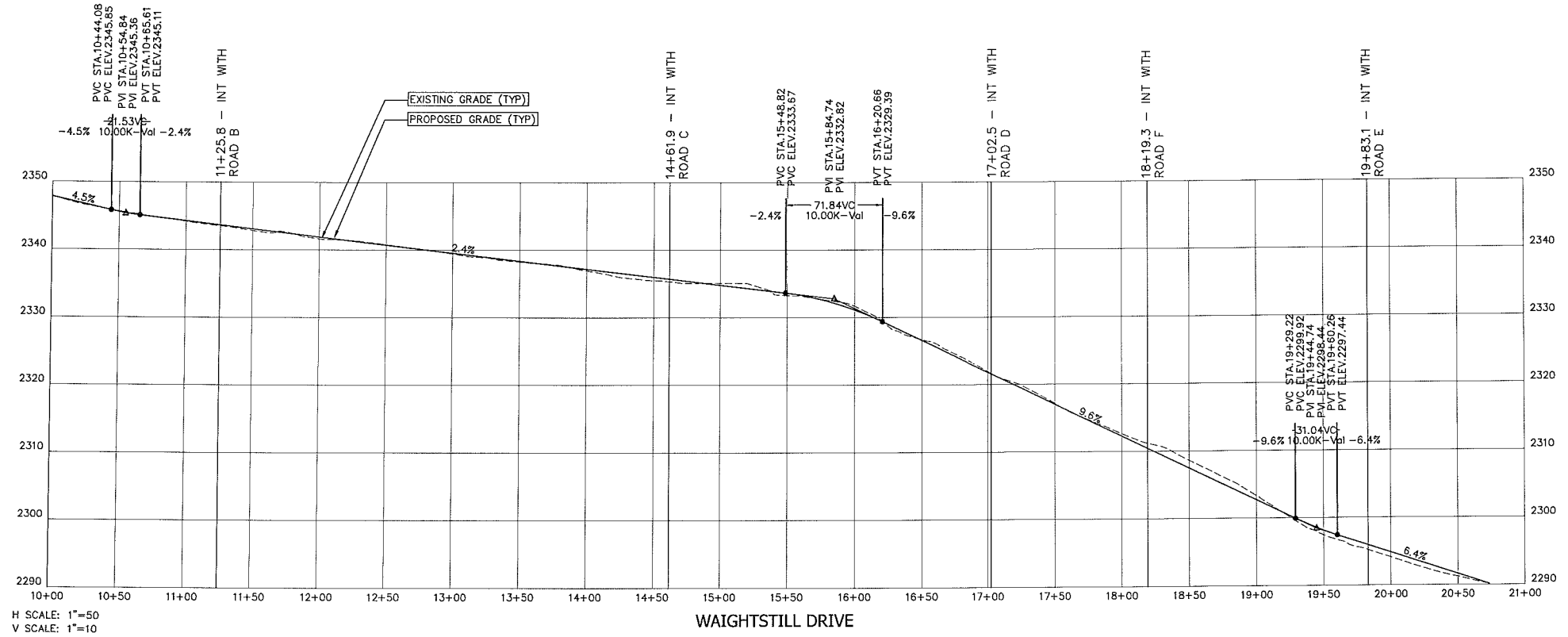
Reviewed: JHK
 AS NOTED
 Date: 6-08-15
 17 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
 Fax: 1-828-232-1331
 www.brooksassoc.com



THE PINNACLE AT ARABELLA HEIGHTS
 CONDITIONAL USE DOCUMENTS
 NORTH CAROLINA
 BUNCOMBE COUNTY
 Project No: 417515
 C-3.0
 Planning • Engineering • Surveying
 • Environmental Services •
 GRADING AND STORMWATER PLAN
 Drawing Title:



Newby/Submission number with a triangle indicates change made on this sheet
 NOT FOR CONSTRUCTION



HORIZONTAL SCALE: 1"=50'

VERTICAL SCALE: 1"=10'

**THE PINNACLE AT ARABELLA HEIGHTS
CONDITIONAL USE DOCUMENTS**

Project No:
417515

C-4.0

BUNCOMBE COUNTY
NORTH CAROLINA

Drawing Title:
ROAD PROFILES

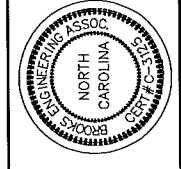


Planning • Engineering • Surveying
• Environmental Services •

Designed: JHK
Drawn: JHK
Checked: JHK

Reviewed: JHK
Scale: AS NOTED
Date: 6-08-15

17 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
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No.	REVISIONS/SUBMISSIONS	Date
1	SUBMITTAL TO BOARD OF ADJUSTMENTS	6-08-15
1	SUBMITTAL TO PLANNING BOARD	6-19-15

Revision/Submission number with a triangle indicates change made on this sheet.

CONSTRUCTION SEQUENCE

- OBTAIN A LAND DISTURBING PERMIT FROM BUNCOMBE COUNTY
- ATTEND A PRE-CONSTRUCTION MEETING WITH BUNCOMBE COUNTY
- INSTALL CONSTRUCTION ENTRANCE / EXITS
- INSTALL ALL PERIMETER DEVICES SUCH AS SILT FENCE.
- INSTALL ALL TEMPORARY SEDIMENT TRAPS.
- HAVE THE SITE INSPECTED BY A BUNCOMBE COUNTY INSPECTOR AND THE ENGINEER PRIOR TO PROCEEDING.
- BEGIN MASS GRADING THE SITE.
- MAINTAIN EROSION CONTROL DEVICES AS NEEDED.
- INSTALL STORM DRAINAGE SYSTEM AND INLET AND OUTLET PROTECTION DEVICES SIMULTANEOUSLY.
- STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- PROVIDE TEMPORARY AND PERMANENT SEEDING PER DETAILS AND SPECIFICATIONS.
- REMOVE ALL TEMPORARY MEASURES UPON SITE STABILIZATION AND CALL FOR FINAL INSPECTION.

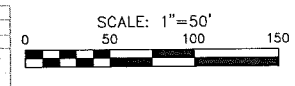
EROSION CONTROL PLAN LEGEND

- EXIST. CONTOURS (MINOR)
- EXIST. CONTOURS (MAJOR)
- EXIST. CONTOUR (LABELS)
- EXIST. BOUNDARY
- EXIST. EASEMENT
- EXIST. SANITARY SEWER
- EXIST. OVERHEAD UTILITIES
- EXIST. EDGE OF ASPHALT
- EXIST. PROPERTY ADJOINER
- NEW CONTOURS (MINOR)
- NEW CONTOURS (MAJOR)
- NEW CONTOURS (LABELS)
- NEW SILT FENCE
- LIMITS OF DISTURBANCE
- EXIST. MANHOLE
- NEW BUILDING
- TEMP. INLET PROTECTION
- OUTLET PROTECTION
- PROPOSED STORM PIPE



NEW STABILIZATION TIMEFRAMES

Site Area Description	Stabilization	Timeframe Exceptions
Perimeter areas, access ditches, and slopes	7 Days	None
High Quality Water (HQW) Zones	7 Days	None
Slopes steeper than 3:1	7 Days	If slopes are 10' or less in length and are not adjacent to HQW, 14 days are allowed.
Slopes 3:1 or flatter	14 Days	7 days for slopes greater than 60' in length.
All other areas with slopes flatter than 4:1	14 Days	None, except for tree trunks and HQW Zones.



<p>THE PINNACLE AT ARABELLA HEIGHTS CONDITIONAL USE DOCUMENTS</p>		<p>BROOKS ENGINEERING ASSOCIATES ENGINEERING • SURVEYING • ENVIRONMENTAL SERVICES •</p>										
<p>Project No: 417515</p>	<p>C-5.0</p>	<p>North Carolina BUNCOMBE COUNTY</p>	<p>17 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brookseng.com</p>									
<p>REVISIONS/SUBMISSIONS</p> <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> <tr> <td>1</td> <td>6-08-15</td> <td>SUBMITTAL TO BOARD OF ADJUSTMENTS</td> </tr> <tr> <td>1</td> <td>6-19-15</td> <td>SUBMITTAL TO PLANNING BOARD</td> </tr> </table>		No.	Date	Description	1	6-08-15	SUBMITTAL TO BOARD OF ADJUSTMENTS	1	6-19-15	SUBMITTAL TO PLANNING BOARD	<p>NOT FOR CONSTRUCTION</p>	
No.	Date	Description										
1	6-08-15	SUBMITTAL TO BOARD OF ADJUSTMENTS										
1	6-19-15	SUBMITTAL TO PLANNING BOARD										

UTILITY NOTES

- The Minimum cover on sanitary sewer pipe shall be 3.0 feet.
- All sewer pipe shall be PVC pipe class SDR 35 except as shown.
- All sanitary sewer mains shall be designed and constructed in accordance with "Sewer Extension Procedures, Standards, and Specifications for the Metropolitan Sewerage District of Buncombe County, North Carolina" latest edition.
- Sanitary Sewers shall be laid at least 10 feet laterally edge to edge from existing or proposed water mains unless the top of the sewer main is at least 18 inches below the bottom of the water main and there is a horizontal separation of at least 3 feet from the closest edges of the pipes.
- The minimum distance of the water main to the outside edge of manholes shall be 5 feet when the sanitary sewer line is at least 18 inches below the waterline and 10 feet under other circumstances.
- Where sanitary sewers cross beneath water mains with a vertical separation of 18 inches or less, or where water mains cross under sewer mains, the entire leg of sanitary sewer shall be of water main standard ductile iron pipe. The water line pipe shall be centered at the point of the crossing and shall cross sanitary sewer lines at an approximate ninety (90) degree angle.
- Sanitary Sewers shall have the top of the pipe at least 24 inches below the bottom of storm sewer pipe when the horizontal separation between the closest edges of the two pipes is 3 feet or less. Where sanitary and storm sewers cross with a vertical separation of less than 24 inches, the entire leg of sanitary sewer shall be of water main standard ductile iron pipe.
- Water main shall be laid at least 10 feet laterally measured edge to edge from existing or proposed storm drain. If the elevation of the bottom of the water main is at least 12 inches above the top of the storm drain, a clear horizontal separation of at least 3 feet is allowable. Where a water main and storm sewer cross, the minimum vertical separation is 12 inches and the crossing should be at an approximate 90 degree angle.
- Distances are horizontal distance and do not reflect the actual length of pipe.
- MSD Specifications and Requirements supersede all others in the installation of the proposed extension.
- All work shall be performed by a North Carolina Licensed contractor.
- No Doghouse Manholes allowed.
- The entire permanent sewer corridor easement must be free of tree plantings and permanent structures.
- Coordinates are NC Grid NAD 83.

WATERLINE INSTALLATION NOTES

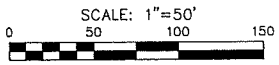
- WATER CONSTRUCTION ON THIS SITE IS AUTHORIZED BY PERMITS ISSUED BY THE NORTH CAROLINA DEPARTMENT OF THE ENVIRONMENT AND NATURAL RESOURCES (NCDENR). THE WORK IS SUBJECT TO INSPECTIONS AT ALL TIMES BY REPRESENTATIVES OF NCDENR, THE OWNER, OR THE ENGINEER. THE PERMITS REQUIRE CERTIFICATION OF COMPLETION OF THE WATER SYSTEMS BY THE ENGINEER PRIOR TO ISSUANCE OF FINAL OPERATION APPROVAL BY NCDENR.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES, DRAINAGE AND OTHER UNDERGROUND FACILITIES BOTH EXISTING AND PROPOSED, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- INSTALL FERROUS PIPING FOR BOTH WATER AND SEWER WITHIN 10 FT. OF A CROSSING IF:
 - SEWER LINE CROSSES OVER WATER, OR
 - VERTICAL CLEARANCE BETWEEN WATER AND SEWER IS LESS THAN 18 INCHES
 MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS UNLESS LAID IN SEPARATE TRENCHES WITH THE BOTTOM OF THE WATER LINE AT LEAST 18 INCHES ABOVE THE TOP OF SEWER, OR USE FERROUS MATERIAL FOR BOTH WATER AND SEWER.
- MAINTAIN 12 INCHES VERTICAL SEPARATION BETWEEN STORM DRAIN AND WATER, OR INSTALL FERROUS MATERIAL ON WATER LINE WITHIN 10 FEET OF EACH SIDE OF CROSSING.
- ALL WATER MAINS SHALL HAVE 3 FEET MINIMUM COVER OR BE CONSTRUCTED OF A FERROUS MATERIAL.
- MATERIALS AND INSTALLATION FOR WATER LINES SHALL CONFORM TO WSWSD STANDARD SPECIFICATIONS AND DETAILS, AND SHALL BE INSTALLED UNDER THE INSPECTION OF NCDENR AND INSTALLED BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR. UPON COMPLETION AND ACCEPTANCE, WATER LINES SHALL BE MAINTAINED BY HOA.
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. REPAIRS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY AGENCY PRIOR TO PERFORMING ANY WORK.
- ALL 4" OR LARGER WATER MAINS SHALL BE DIP PIPE.
- ALL BENDS, TEES, VALVES, BLOWOFFS, AND RODING SHALL BE IN ACCORDANCE WITH AWWA STANDARDS AND PLAN DETAILS.
- ALL TRENCHES AND DITCHES SHALL BE COMPACTED IN 8" LIFTS BACK TO ORIGINAL CONDITION AS PER AWWA STANDARDS.

UTILITY PLAN LEGEND

- EXIST. CONTOURS (MINOR)
- EXIST. CONTOURS (MAJOR)
- EXIST. CONTOUR (LABELS)
- EXIST. BOUNDARY
- EXIST. EASEMENT
- EXIST. CURB & GUTTER
- EXIST. SANITARY SEWER
- EXIST. SEWER EASEMENT
- EXIST. WATER EASEMENT
- EXIST. OVERHEAD UTILITIES
- EXIST. EDGE OF GRAVEL
- EXIST. EDGE OF ASPHALT
- EXIST. PROPERTY ADJOINER
- EXIST. STORM PIPE
- NEW CONTOURS (MINOR)
- NEW CONTOURS (MAJOR)
- NEW CONTOURS (LABELS)
- EXIST. MANHOLE
- EXIST. SEWER CONNECTION
- NEW SEWER LINE
- NEW SEWER EASEMENT
- NEW MANHOLE
- NEW SEWER CONNECTION
- NEW WATER LINE
- NEW WATER EASEMENT
- NEW FIRE HYDRANT
- NEW WATER CONNECTION
- NEW GATE VALVE
- NEW AIR VAC RELEASE VALVE



- OTHER UTILITY NOTES**
- CABLE PROVIDED BY: CHARTER COMMUNICATIONS
 - POWER PROVIDED BY: DUKE ENERGY
 - TELEPHONE PROVIDED BY: BELLSOUTH

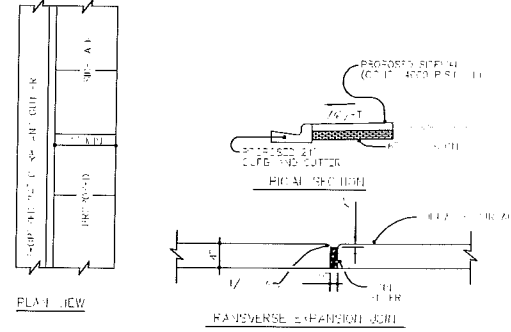


Date	6-08-15
	6-19-15
No.	1
	1
REVISIONS/SUBMISSIONS	SUBMITTAL TO BOARD OF ADJUSTMENTS
	SUBMITTAL TO PLANNING BOARD
Reviewed:	JHK
Scale:	AS NOTED
Drawn:	JHK
Checked:	JHK
Date:	6-08-15
17 Avilington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brookssea.com	
Planning • Engineering • Surveying • Environmental Services •	
Project No:	417515
Project Name:	THE PINNACLE AT ARABELLA HEIGHTS CONDITIONAL USE DOCUMENTS
County:	BUNCOMBE COUNTY
State:	NORTH CAROLINA
Drawing Title:	UTILITY PLAN
Project Code:	C-6.0

Review/Revision number with a triangle indicates changes made on this sheet

NOT FOR CONSTRUCTION

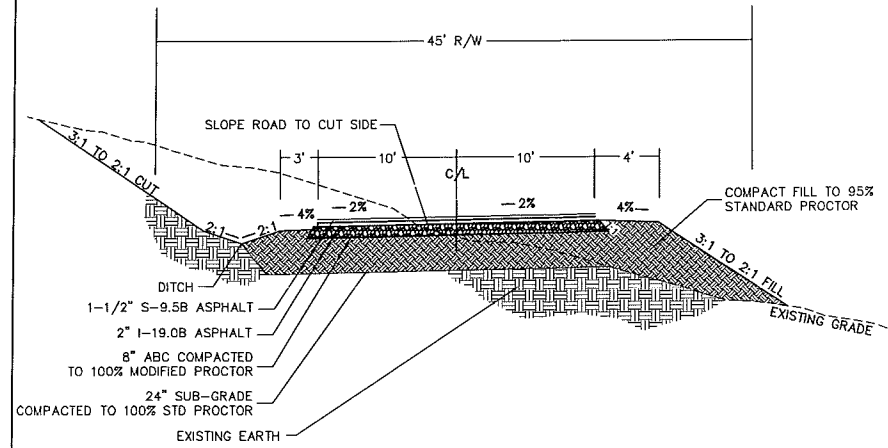
- TRANSVERSE EXPANSION JOINTS TO BE PLACED AT 10' INTERVALS.
- ALL CONCRETE TO BE FINISHED WITH BROOM FINISH.
- THE CONSTRUCTION OF A SIDEWALK MAY UTILIZE ASPHALT (TYPE 1-1 OR 1-2) MATERIAL UPON PRIOR APPROVAL BY THE CITY ENGINEER. IN SUCH CASES THE CONSTRUCTION SHALL CONSIST OF FOUR (4) INCHES C&G AND TWO (2) INCHES OF TYPE 1-1 OR 1-2.



1 STANDARD CONCRETE SIDEWALK

SCALE= NTS

NOTE:
1. DITCH SHALL HAVE A MAXIMUM 2:1 SIDE SLOPE ON EACH SIDE FOR 1 VERTICAL FOOT FROM THE BOTTOM OF DITCH.

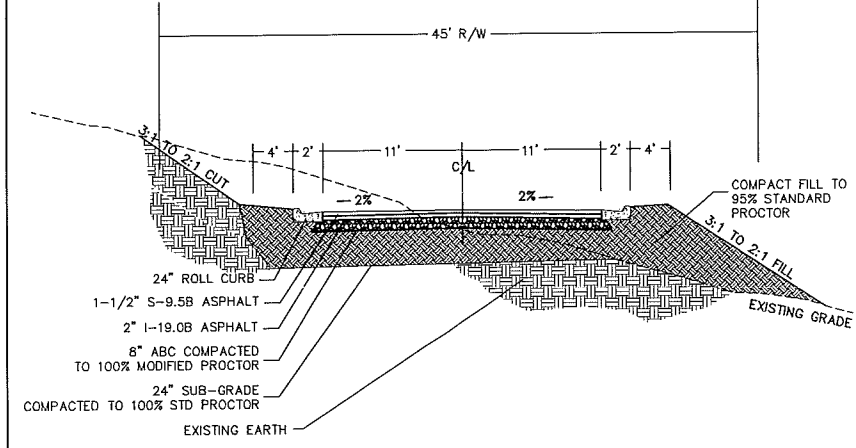


NOTES:

- *FILL SIDE SHOULDER TO BE A MINIMUM 4' TRAVELABLE SURFACE WHERE AVERAGE CROSS SLOPE IS STEEPER THAN 30% AND ROAD GRADE IS STEEPER THAN 15%.
- **PAVEMENT WIDTH TO INCREASE FOR RADI LESS THAN 90 DEGREES ACCORDING TO THE FOLLOWING: R<90=NO CHANGE; R>90 AND R<70=25% INCREASE; R>50 AND R<60=45% INCREASE; R<=50=50% INCREASE.
- ***NO BASE COURSE SHALL BE PLACED ON MUCK, PIPE CLAY, ORGANIC MATTER, OR OTHER UNSUITABLE MATERIAL.
- ****NO SOIL TESTING DATA AVAILABLE. THE WORST-CASE NCDOT PAVEMENT SECTION SELECTED.
- *****NO ROADS ARE PLANNED TO BE CONSTRUCTED IN AREAS IN EXCESS OF 30% OR IN AREAS DENOTE AS HIGH OR MODERATED HAZARD ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP.

2 20' WIDE ROAD CROSS SECTION

SCALE= NTS

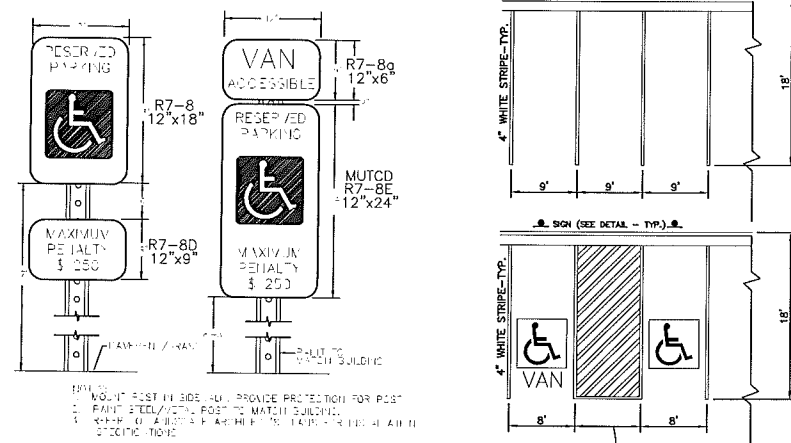


NOTES:

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- ****NO SOIL TESTING DATA AVAILABLE. THE WORST-CASE NCDOT PAVEMENT SECTION SELECTED.
- *****NO ROADS ARE PLANNED TO BE CONSTRUCTED IN AREAS IN EXCESS OF 30% OR IN AREAS DENOTE AS HIGH OR MODERATED HAZARD ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP.

3 26' WIDE ROAD CROSS SECTION

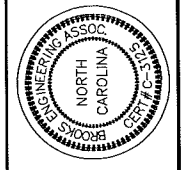
SCALE= NTS



4 STANDARD PARKING DETAILS

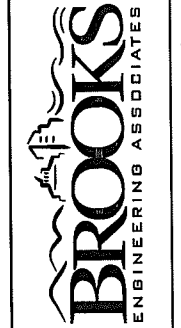
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REVISIONS/SUBMISSIONS		Date
No.	1	6-08-15
SUBMITTAL TO BOARD OF ADJUSTMENTS		6-10-15
SUBMITTAL TO PLANNING BOARD		



Reviewed: JHK
Scale: AS NOTED
Date: 6-08-15

17 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brookssea.com



THE PINNACLE AT ARABELLA HEIGHTS
CONDITIONAL USE DOCUMENTS

BUNCOMBE COUNTY
NORTH CAROLINA

Project No:
417515

C-7.1

Drawing Title:
SITE AND LANDSCAPE DETAILS

NOT FOR CONSTRUCTION

Revision/Submission number with a triangle indicates changes made on this sheet

ATTACHMENT B

Buncombe County Planning Board Meeting
Recommended Staff Conditions
SUB2015-00218
July 20, 2015
The Pinnacle at Arabella Heights

The applicant is requesting the following variances:

- **§70-66(g) Lot frontage**, to waive the minimum street frontage requirements for the proposed lots.
- **§70-68(a)(3)(b)(1)(a) Hillside Development Standards Drastic Variation Hillside Development Subdivision**, to allow greater than 10% of the phase in Development Area A to be greater than 25% slope as Development Area B is not proposed to be developed.

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
2. Indicate all property owners on the submitted plans.
3. Indicate township on the submitted plans.
4. Indicate on the submitted plans that corridor height shall not exceed 60 feet.
5. Indicate material private driveways will be constructed of on submitted plans.
6. Provide a written statement from the Buncombe County Stormwater Ordinance Administrator stating that a Stormwater Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
7. An Engineer's certification that the water system is complete and built to the North Carolina Department of Environment and Natural Resources standards will be required prior to recordation of a final plat or release of a financial guarantee.
8. Proof of acceptance of the MSD lines into the MSD system will be required prior to recordation of a final plat or release of a financial guarantee.
9. Provide proof of approval of E-911 addressing or indicate approved addresses and road names on final plat.

ATTACHMENT C

HEARING ON REQUEST FOR A VARIANCE BEFORE THE BUNCOMBE COUNTY PLANNING BOARD

Subdivision Name: The Pinnacle at Arabella Heights (SUB2015-00218)
Address: Springhead Court
Hearing Date: July 20, 2015

MOTION TO ADOPT FINDINGS OF FACT

Mr. Chair, based upon the evidence presented to this Board, including the following exhibits: the petitioner's application, the submitted development plan, the findings of fact worksheet _____, and _____;

I move that this Board adopt the following FINDINGS OF FACT:

1. The applicant is requesting a variance from the Buncombe County Land Development and Subdivision Ordinance for a 65 unit single family subdivision.
2. The applicant is requesting a variance from **§70-68(a)(3)(b)(1)(a) Hillside Development Standards Drastic Variation Hillside Development Subdivision**, to allow greater than 10% of the phase in Development Area A to be greater than 25% slope as Development Area B is not proposed to be developed.
3. That §70-10 of the Buncombe County Land Development and Subdivision Ordinance was used to evaluate this request.

4A. This application does meet the requirements for granting a variance by demonstrating an unnecessary hardship on the owner for the following reasons:

- a. That a strict or literal interpretation and enforcement of the specified standard or requirement would result in practical difficulty, unnecessary hardship or adverse environmental impact, as:

Having to meet the standards would have to remove large portions of the site that were intended to be used for homes with walk out basements. These areas have already been graded out by a previous developer.

- b. That the granting of the variance will not be detrimental to the public health, safety or welfare, as:

Any construction in these steeper areas will be in accordance with state and local ordinances and practices that will not be detrimental to health, safety, or welfare.

- c. That the granting of the variance would support general objectives contained within this chapter, as:

This development will be in keeping with the underlying zoning district it is located in terms of density and aesthetics. The development seeks to utilize flatter areas and leave steeper areas undeveloped.

4B. This application does not meet the requirements for granting a variance by demonstrating an unnecessary hardship on the owner for the following reasons:

- a. *That a strict or literal interpretation and enforcement of the specified standard or requirement would not result in practical difficulty, unnecessary hardship or adverse environmental impact and the applicant should be required to meet the requirements of the Ordinance.*
- b. *That the granting of the variance would not support the general objectives contained within this Chapter.*

MOTION OF ACCEPTANCE OF FINDINGS OF FACT

Motion by: _____
Seconded by: _____
Vote for: _____
Vote against: _____

MOTION TO APPROVE/DENY THE VARIANCE

Based upon the foregoing FINDINGS OF FACT and for the reasons set forth therein, I move that the requested variance be **approved/denied**.

Motion by: _____
Seconded by: _____
Vote for: _____
Vote against: _____

**HEARING ON REQUEST FOR A VARIANCE BEFORE THE BUNCOMBE
COUNTY PLANNING BOARD**

Subdivision Name: The Pinnacle at Arabella Heights (SUB2015-00218)
Address: Springhead Court
Hearing Date: July 20, 2015

MOTION TO ADOPT FINDINGS OF FACT

Mr. Chair, based upon the evidence presented to this Board, including the following exhibits: the petitioner's application, the submitted development plan, the findings of fact worksheet _____, and _____;

I move that this Board adopt the following FINDINGS OF FACT:

1. The applicant is requesting a variance from the Buncombe County Land Development and Subdivision Ordinance for a 65 unit single family subdivision.
2. The applicant is requesting a variance from **§70-66(g) Lot frontage**, to waive the minimum street frontage requirements for the proposed lots.
3. That §70-10 of the Buncombe County Land Development and Subdivision Ordinance was used to evaluate this request.

4A. This application does meet the requirements for granting a variance by demonstrating an unnecessary hardship on the owner for the following reasons:

- a. That a strict or literal interpretation and enforcement of the specified standard or requirement would result in practical difficulty, unnecessary hardship or adverse environmental impact, as:

Since the project will be permitted as a PUD and lot lines will follow the building footprints, following this section would increase lot widths outside of the desired footprint on some locations.

- b. That the granting of the variance will not be detrimental to the public health, safety or welfare, as:

All lots will have adequate access and very flat front yards. The steeper areas are to the rear and allow for walk-out basements and will not be in highly traversed areas.

- c. That the granting of the variance would support general objectives contained within this chapter, as:

This layout is in keeping with the intentions of the Ordinance because each lot will still have easy access and a buildable footprint.

4B. This application does not meet the requirements for granting a variance by demonstrating an unnecessary hardship on the owner for the following reasons:

- a. *That a strict or literal interpretation and enforcement of the specified standard or requirement would not result in practical difficulty, unnecessary hardship or adverse environmental impact and the applicant should be required to meet the requirements of the Ordinance.*
- b. *That the granting of the variance would not support the general objectives contained within this Chapter.*

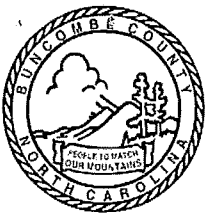
MOTION OF ACCEPTANCE OF FINDINGS OF FACT

Motion by: _____
Seconded by: _____
Vote for: _____
Vote against: _____

MOTION TO APPROVE/DENY THE VARIANCE

Based upon the foregoing FINDINGS OF FACT and for the reasons set forth therein, I move that the requested variance be **approved/denied**.

Motion by: _____
Seconded by: _____
Vote for: _____
Vote against: _____



Buncombe County Government
Application for a variance from the Land Development and Subdivision Ordinance of Buncombe County

ATTACHMENT

Planning and Development
www.buncombecounty.org

D
46 Valley Street
Asheville, NC 28801
Telephone (828) 250-4830
Fax (828) 250-6086

Please complete all sections of the application.

A. CONTACT INFORMATION

Date: 6/11/2015

PROPERTY INFORMATION

Subdivision Name: The Pinnacle at Arabella Heights

Phase # and/or Name of Phase (if part of a Master Plan for Phased Development):

Address/Street Location of Property: Ledbetter Rd, Arden, NC 28704

PIN Number(s) of Property to be Subdivided:

9634-85-9115 9634-94-5909

CONTACT INFORMATION

Owner Name: San Juan Professional Center, LLC

Address: 840 Edgewood Ave S - Suite 220, Jacksonville, FL 32205

Phone: 828-606-4313

Surveyor/Engineer/Landscape Architect Name and Company Name:

John Kinnaird, PE - Brooks Engineering Associate, PA

Address: 17 Arlington St, Asheville, NC 28801

Phone: 828-232-4700

Email: jkinnaird@brooksea.com

Primary Contact for Submission: Bruce Alexander

Address: 2 Walden Ridge Dr - Suite 90, Asheville, NC 28803

Phone: 828-274-1004

Email: bruce@life style homes.net

SUB 2015 - 00218

B. APPLICATION FOR VARIANCE

Application is hereby made to the Buncombe County Planning Board for a VARIANCE from the literal provisions of the Buncombe County Land Development and Subdivision Ordinance, because, under the interpretation given to me by the Subdivision Administrator, I am prohibited from using the parcel of land indicated above in a manner shown by the submitted preliminary subdivision plans (please attach one copy of the submitted preliminary plans to this application). The **preliminary plans** I have submitted include the following:

- a note regarding the type of variance I am seeking
- location of the variance I am seeking shown on the submitted plans (if applicable)

I request a variance from the following provisions of the ordinance:

Section number: 70-66 Section title: General Requirements
Subsection letters and/or number: (g) Subsection title(s): Lot Frontage

C. FACTORS RELEVANT TO THE ISSUANCE OF A VARIANCE:

The Planning Board does not have unlimited discretion in deciding whether to grant a variance. In the spaces provided below, indicate the *factors you intend to show* and the *arguments that you intend to make* to convince the Board that it can properly grant the variance as provided for in §70-10. Variances of the Land Development and Subdivision Ordinance of Buncombe County (if necessary please provide the information on a separate sheet of paper).

- (a) Indicate how a strict or literal interpretation and enforcement of the specified standard or requirement would result in practical difficulty, unnecessary hardship or adverse environmental impact:

Since the project will be permitted as a PUD, and lot lines will follow the building footprint, following this section would increase lot widths outside of the desired footprint in some locations.

- (b) Indicate how granting the variance will not be detrimental to the public health, safety, or welfare; and

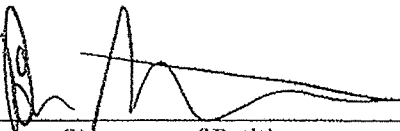
All lots will have adequate access and very flat front yards. The steeper areas are to the rear to allow for walk-out basements and will not be in highly travelled areas.

- (c) Indicate how granting the variance would support the general objectives contained within the Land Development and Subdivision Ordinance of Buncombe County.

We believe this layout is in keeping with the intentions of the ordinance because each lot will still have easy access and a buildable footprint.

D. CERTIFICATION AND SIGNATURE

I certify that all of the information presented by me on this application is accurate to the best of my knowledge, information and belief.



Signature of Petitioner

June 19 2015
Month Day Year

OFFICE USE ONLY:
Date received: _____
Case number: _____
Scheduled Planning Board meeting: _____



Planning & Project Management / Civil Engineering
Surveying / Environmental Engineering & Services

17 Arlington Street / Asheville NC 28801
www.brooksea.com / 828-232-4700

June 18, 2015

Gillian Phillips
Planning and Development Department
Buncombe County
46 Valley Street
Asheville, NC 28801

Re: The Pinnacle at Arabella Heights Subdivision

Dear Gillian:

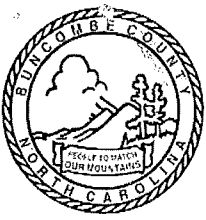
Brooks Engineering Associates is assisting with the permitting of a proposed subdivision of an 18.55 acre parcel of land located in Buncombe County. The proposed development tract is located at 9999 Ledbetter Road, Arden, NC 28704, and is identified by Parcel Identification Numbers 9634-85-9115 and 9634-94-5909. The developer is requesting a variance to the Lot Frontage requirements, specifically subsection 70-66 (g) which states that "*Lot frontage shall be regulated when the average land slope perpendicular to the street exceeds 18 percent. Any residential subdivision lot where the side slope of the land, at a right angle to the frontage street, is in excess of 18 percent slope shall have a minimum of 50 feet street frontage, and the lot street frontage shall be increased four feet for each side slope percentage point over the 18 percent base for such calculations*". The developer requests that the variance allow smaller lot frontages throughout the community regardless of the side slope as defined above. This development is permitted as a Planned Unit Development and the lots as proposed actually follow the building footprint.

We believe the intent of this subsection is to ensure that each lot is "buildable" and has adequate driveway access. As is shown on the plans, all units will have flat driveways and areas in front of the house. The lots do tend to slope away from the road somewhere around the middle of each unit. This was done intentionally to allow walk-out basements on all units.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Kinnaird". The signature is fluid and cursive, with a large initial "J" and a long, sweeping underline.

John Kinnaird, P.E.
Partner,
Brooks Engineering Associates, PA



Buncombe County Government
Application for a variance from the Land Development and
Subdivision Ordinance of Buncombe County

Planning and Development
www.buncombecounty.org

46 Valley Street
Asheville, NC 28801
Telephone (828) 250-4830
Fax (828) 250-6086

Please complete all sections of the application.

A. CONTACT INFORMATION

Date: 6/19/2015

PROPERTY INFORMATION

Subdivision Name: The Pinnacle at Arabella Heights

Phase # and/or Name of Phase (if part of a Master Plan for Phased Development):

Address/Street Location of Property: Ledbetter Rd, Arden, NC 28704

PIN Number(s) of Property to be Subdivided:

9634-85-9115, 9634-94-5909

CONTACT INFORMATION

Owner Name: San Juan Professional Center, LLC

Address: 840 Edgewood Aves - Suite 220, Jacksonville, FL 32205

Phone: 828-606-4313

Surveyor/Engineer/Landscape Architect Name and Company Name:

John Kinnaird, PE - Brooks Engineering Associates, PA

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Email: jkinnaird@brookseq.com

Primary Contact for Submission: Bruce Alexander

Address: 2 Walden Ridge Dr - Suite 90, Asheville, NC 28803

Phone: 828-274-1004

Email: bruce@lifestylehomes.net

SUB 2015 - 00218

B. APPLICATION FOR VARIANCE

Application is hereby made to the Buncombe County Planning Board for a VARIANCE from the literal provisions of the Buncombe County Land Development and Subdivision Ordinance, because, under the interpretation given to me by the Subdivision Administrator, I am prohibited from using the parcel of land indicated above in a manner shown by the submitted preliminary subdivision plans (please attach one copy of the submitted preliminary plans to this application). The **preliminary plans** I have submitted include the following:

- a note regarding the type of variance I am seeking
- location of the variance I am seeking shown on the submitted plans (if applicable)

I request a variance from the following provisions of the ordinance:

Section number: 70-68 Section title: Hillside Development Standards
Subsection letters and/or number: (a)(3)(b)(1) a. Subsection title(s): Drastic Variation Hillside Development Subdivision

C. FACTORS RELEVANT TO THE ISSUANCE OF A VARIANCE:

The Planning Board does not have unlimited discretion in deciding whether to grant a variance. In the spaces provided below, indicate the *factors you intend to show* and the *arguments that you intend to make* to convince the Board that it can properly grant the variance as provided for in §70-10. Variances of the Land Development and Subdivision Ordinance of Buncombe County (if necessary please provide the information on a separate sheet of paper).

(a) Indicate how a strict or literal interpretation and enforcement of the specified standard or requirement would result in practical difficulty, unnecessary hardship or adverse environmental impact:

This would remove large portions of the site that were intended to be used for homes with walk-out basements. These areas have already been graded by a previous developer.

(b) Indicate how granting the variance will not be detrimental to the public health, safety, or welfare; and

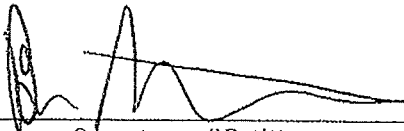
Any construction in these steeper areas will be in accordance with state and local ordinances and practices and will not be detrimental to health safety or welfare.

(c) Indicate how granting the variance would support the general objectives contained within the Land Development and Subdivision Ordinance of Buncombe County.

We believe the development will be in keeping with zoning district it is located in in terms of density and aesthetics. The development seeks to utilize flatter areas and leave steeper areas undeveloped.

D. CERTIFICATION AND SIGNATURE

I certify that all of the information presented by me on this application is accurate to the best of my knowledge, information and belief.



Signature of Petitioner

June 19 2015
Month Day Year

OFFICE USE ONLY:
Date received: _____
Case number: _____
Scheduled Planning Board meeting: _____



Planning & Project Management / Civil Engineering
Surveying / Environmental Engineering & Services

17 Arlington Street / Asheville NC 28801
www.brooksea.com / 828-232-4700

June 18, 2015

Gillian Phillips
Planning and Development Department
Buncombe County
46 Valley Street
Asheville, NC 28801

Re: The Pinnacle at Arabella Heights Subdivision

Dear Gillian:

Brooks Engineering Associates is assisting with the permitting of a proposed subdivision of an 18.55 acre parcel of land located in Buncombe County. The proposed development tract is located at 9999 Ledbetter Road, Arden, NC 28704, and is identified by Parcel Identification Numbers 9634-85-9115 and 9634-94-5909. The developer is requesting a variance to the Drastic Variation Hillside Development Ordinance, specifically subsection 70-68 (a)(3)(b)(1)a. which states the "90% of the phase shall be in areas less than or equal to 25% slope as shown on the submitted slope analysis". The developer requests that the variance allow up to 30% of "Development Area A" to consist of areas over 25% slope. The majority of the areas over 25% in Development Area A are man-made slopes intentionally designed to allow the placement of buildings with walk-out basements.

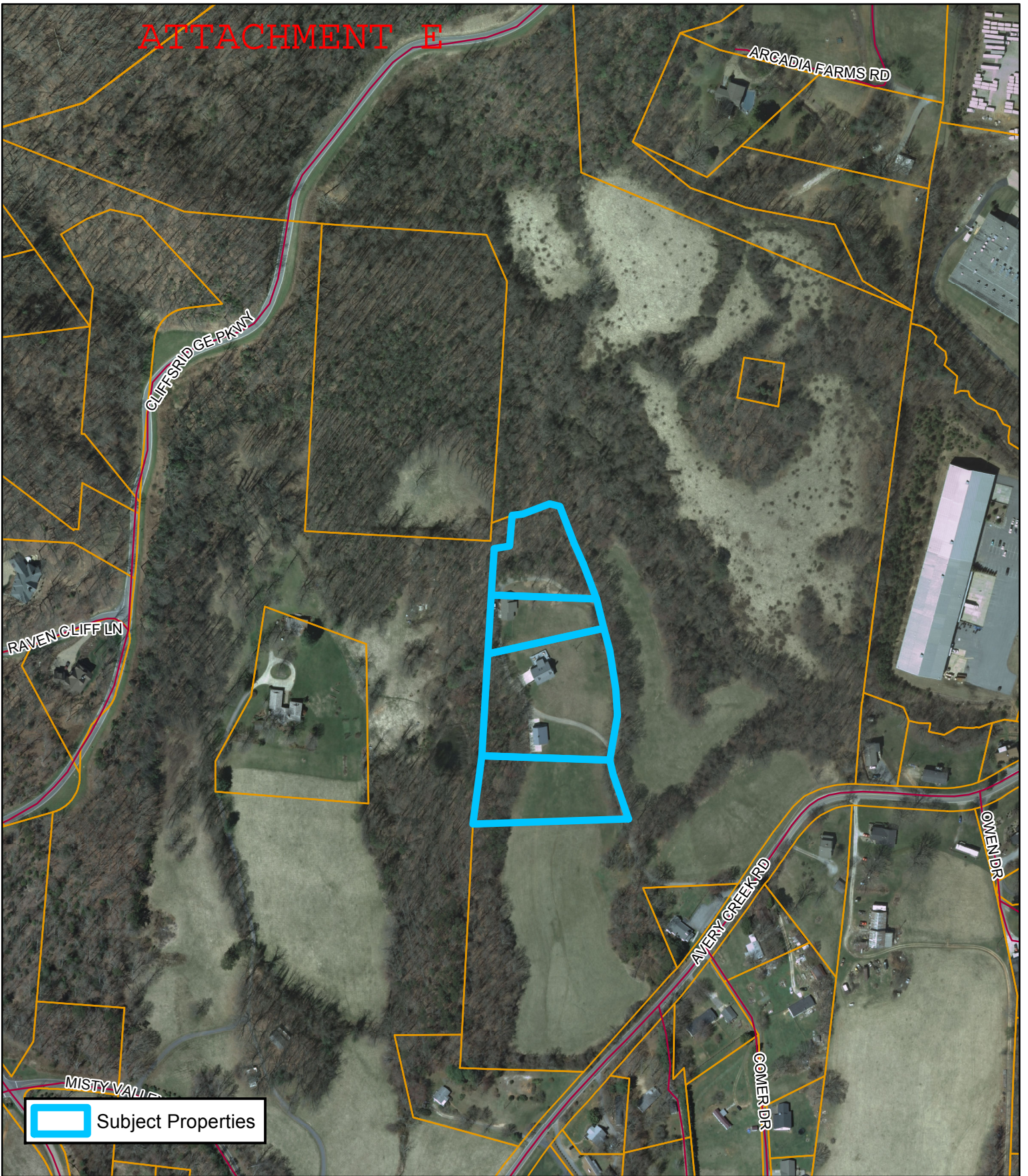
This development was done by a previous developer and actually caused this development to come under the Drastic Variation Hillside Development Ordinance. Strict interpretation of this ordinance would remove large portions of the site that were always intended for development, and indeed have already been cleared and graded

Sincerely,

A handwritten signature in black ink, appearing to read "J. Kinnaird". The signature is fluid and cursive, with a large loop at the end.

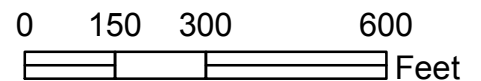
John Kinnaird, P.E.
Partner,
Brooks Engineering Associates, PA

ATTACHMENT E



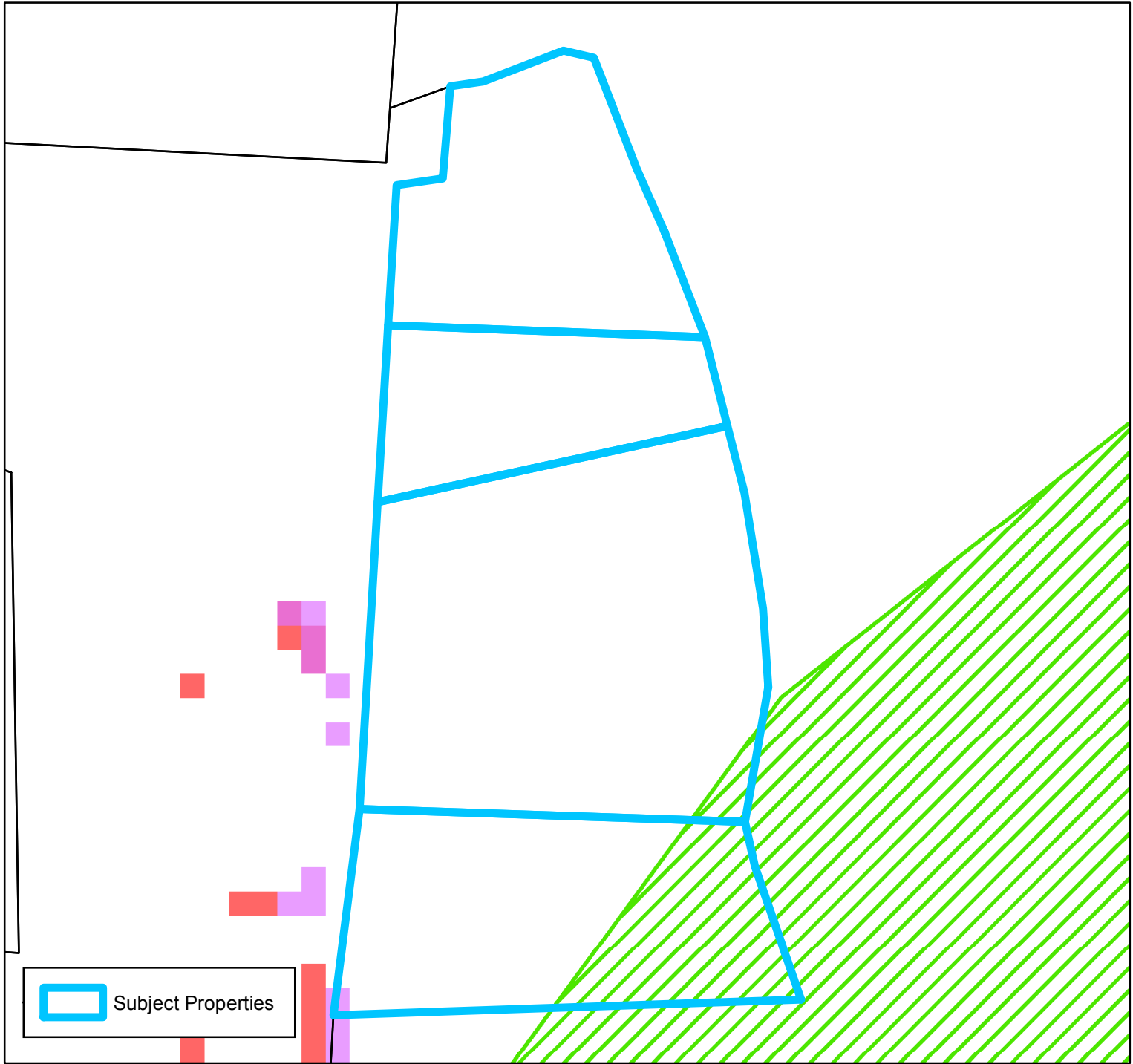
Charles and Jeremy Arthur Map Amendment

Case Number: ZPH2015-00031
Approximate Property Size: 3.89 acres
Application Date: June 3, 2015
Planning Board Hearing Date: July 20, 2015

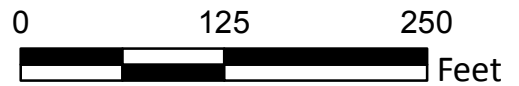


Created By: Buncombe County Planning
Date: July 1, 2015

FEMA Flood Hazard Areas		0 - 25 % Slope	Slope Stability Map		Proximity to Public Utilities
	500 yr		Greater than 25% Slope		High Hazard
	A - 100yr		Greater than 2500'		Moderate Hazard
	AE - 100 yr				Low Hazard
					Transportation Corridors



**Charles and Jeremy Arthur
Map Amendment**



Case Number: ZPH2015-00031
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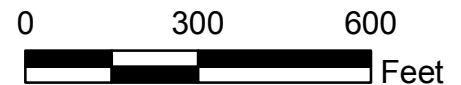
Created By: Buncombe County Planning
 Date: July 1, 2015



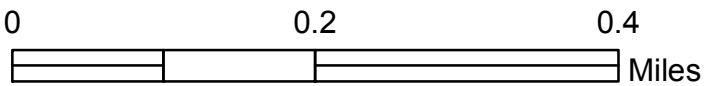
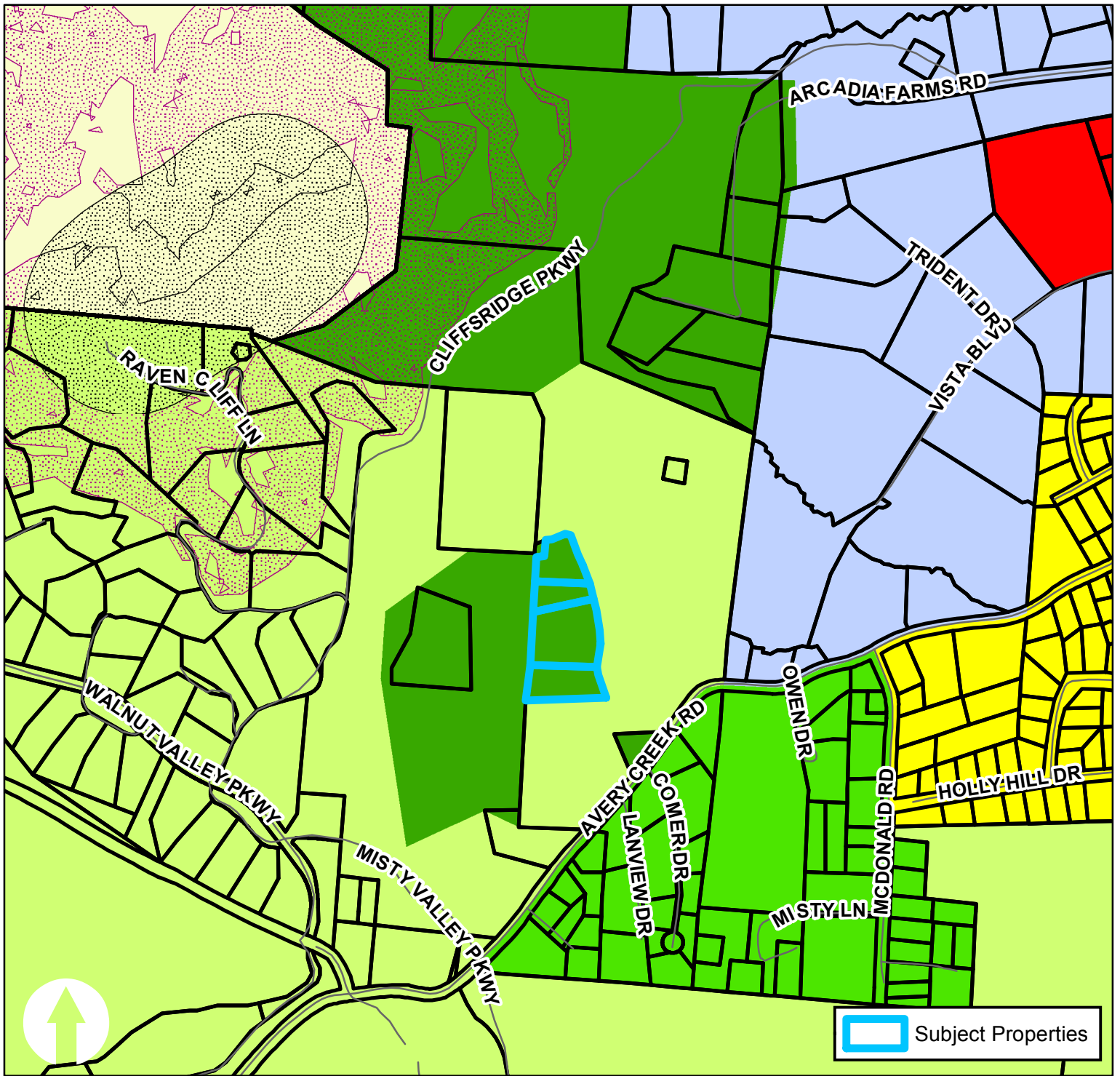
Charles and Jeremy Arthur

Map Amendment

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	AI		EMP		R-1
	BDM		NS		R-2
	CR		OU		R-3
	CS		PS		R-LD
	Blue Ridge Parkway Overlay				
	Protected Ridge Overlay				
	Protected Ridge & Parkway				
	Steep Slope/High Elevation				
	Steep Slope/High Elev. & Pkwy				

BUNCOMBE COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS

CASE NUMBER : ZPH2015-000031
 PROPOSED ZONING CHANGE : R-LD TO R-2
 LOCATION : 131-133 AVERY CREEK ROAD
 PIN(s) : 9634.12.9938; 9634.12.9736
 9634.13.9128; 9634.13.9325

APPLICANT/OWNER : CHARLES AND JEREMY ARTHUR
 P.O. BOX 223 & P.O. BOX 1002
 ARDEN, NC 28704

DEPARTMENT RECOMMENDATION: **APPROVAL**

BOARD CONSIDERATIONS: The Board must determine if there is a reasonable basis for the requested change. An applicant's showing of reasonableness must address the totality of the circumstances and must demonstrate that the change is reasonable in light of its effect on all involved. Good Neighbors of South Davidson v. Town of Denton, 355 N.C. 254, 559 S.E.2d 768 (2002). Determination must be, the “product of a complex of factors.” Chrismon v. Guilford County, 322 N.C. 611, 370 S.E.2d 579 (1988). Among the factors relevant to this analysis are the size of the tract in question; the compatibility of the disputed zoning action with an existing comprehensive zoning plan; the benefits and detriments resulting from the zoning action for the owner of the newly zoned property, his neighbors, and the surrounding community; and the relationship between the uses envisioned under the new zoning and the uses currently present in adjacent tracts. Id.

REZONING ANALYSIS: The applicant is requesting the rezoning of four (4) parcels comprising approximately 4.89 acres from R-LD (Low-Density Residential District) to R-2 (Residential District). The subject properties are located to the north of Avery Creek Road and are directly accessed via a shared driveway that connects to Avery Creek Road. Two of the lots (PIN #'s 9128 and 9938) each contain an existing single-family residence and the remaining two parcels (PIN #'s 9325 & 9736) are currently vacant. The subject properties are largely surrounded by vacant pasture land, wooded areas and sparse single-family residential development. Surrounding property is zoned R-2 to the north, south and east. Property to the west of the subject parcels is zoned R-LD.

The proposed map amendment is consistent with Section 78-640(c) Residential District (R-2) of the Zoning Ordinance of Buncombe County which states that the R-2 residential district is primarily intended to provide locations for residential development and supporting recreational, community service and educational uses in areas where public water and sewer services are available or will likely be provided in the future. The Land Use Constraint maps contained within the Buncombe County Comprehensive Land Use Plan 2013 Update illustrate the following conclusions regarding the subject property:

- The subject property is not directly adjacent to a transportation corridor but is adjacent to an NCDOT road and is located within ¾ mile from Brevard Road (NC 191) which is an identified transportation corridor.
- The subject property is located outside of areas identified as steep slope (greater than 25%) and only a negligible amount of land falls within a moderate hazard slope stability area.
- The subject property lies outside of areas containing high elevations (greater than 2,500 feet).
- The subject property is **not** located within a FEMA Flood Hazard Area.

- The subject property is partially located within the combined water/sewer service area as indicated on the applicable Land Use Constraint Maps. Public water is available along Avery Creek Road, and public sewer extends to the east of the church property along the road frontage.

Figure 20. Appropriate Development Types of the Buncombe County Comprehensive Land Use Plan 2013 Update identifies higher density residential development as “highly suggested” within reasonable proximity to major transportation corridors and within combined water/sewer service areas. While the subject property is not directly adjacent to an identified transportation corridor, it is adjacent to a paved NCDOT road and within $\frac{3}{4}$ miles of Brevard Road (NC 191) which is an identified transportation corridor. Further, the plan “highly suggests” that higher density development be located outside of flood and slope stability hazard areas and “suggests” that this type of development be located outside of steep slope and high elevation areas. The proposed map amendment would not be detrimental to the owners, adjacent neighbors, and surrounding community as it meets a number of goals as identified in the Buncombe County Comprehensive Land Use Plan Update and is adjacent to other properties currently zoned R-2. Therefore, the Buncombe County Department of Planning and Development recommends approval of the request.

LAND USE PLAN CONSISTENCY STATEMENTS

Consistent: The proposed map amendment is consistent with the Buncombe County Land Use Plan and the associated Land Use Constraint maps contained within the Buncombe County Comprehensive Land Use Plan 2013 Update. The following information is relevant to the subject property:

- The subject property is not directly adjacent to a transportation corridor but is adjacent to an NCDOT road and is located within ¾ mile from Brevard Road (NC 191) which is an identified transportation corridor.
- The subject property is located outside of areas identified as steep slope (greater than 25%) and only a negligible amount of land falls within a moderate hazard slope stability area.
- The subject property lies outside of areas containing high elevations (greater than 2,500 feet).
- The subject property is **not** located within a FEMA Flood Hazard Area.
- The subject property is partially located within the combined water/sewer service area as indicated on the applicable Land Use Constraint Maps. Public water is available along Avery Creek Road, and public sewer extends to the east of the church property along the road frontage.

Figure 20. Appropriate Development Types of the Buncombe County Comprehensive Land Use Plan 2013 Update identifies higher density residential development as “highly suggested” within reasonable proximity to major transportation corridors and within combined water/sewer service areas. While the subject property is not directly adjacent to an identified transportation corridor, it is adjacent to a paved NCDOT road and within ¾ miles of Brevard Road (NC 191) which is an identified transportation corridor. Further, the plan “highly suggests” that higher density development be located outside of flood and slope stability hazard areas and “suggests” that this type of development be located outside of steep slope and high elevation areas. The proposed map amendment would not be detrimental to the owners, adjacent neighbors, and surrounding community as it meets a number of goals as identified in the Buncombe County Comprehensive Land Use Plan Update and is adjacent to other properties currently zoned R-2. Therefore, the requested zoning would **be reasonable and in the public interest**.

Inconsistent: The proposed map amendment is inconsistent with the Buncombe County Land Use Plan and the associated Land Use Constraint maps contained within the Buncombe County Comprehensive Land Use Plan 2013 Update. The following information is relevant to the subject property:

- The subject property is located slightly outside of an identified transportation corridor.

Figure 20. Appropriate Development Types of the Buncombe County Comprehensive Land Use Plan 2013 Update identifies higher density residential development as “highly suggested” within reasonable proximity to a major transportation corridor. Therefore the proposed map amendment would be inconsistent as the subject property is located slightly outside of an identified transportation corridor. Therefore, the requested zoning would **not be reasonable and in the public interest**.

Blue Ridge Parkway Overlay Draft

Sec. 78-643. Blue Ridge Parkway Overlay District.

(a) *Purpose.* Realizing the importance of the Blue Ridge Parkway to the economy of Asheville, Buncombe County, and western North Carolina, the Blue Ridge Parkway Overlay District is created to protect and preserve the unique features of this asset to the city, the county, and the region. The standards established in this district will protect the scenic quality of the Blue Ridge Parkway and reduce encroachment on its rural setting.

(b) *Applicability.* The provisions set forth in this section for the Blue Ridge Parkway Overlay District shall apply to all properties within 1,320 feet of the centerline of the Blue Ridge Parkway located within Buncombe County's zoning jurisdiction. Both privately and publicly owned property shall be subject to the requirements set forth herein.

(c) *Development standards.*

(1) *Setback requirements.*

a. *Principal buildings.* Principal buildings and structures to be located adjacent to the Blue Ridge Parkway shall have a minimum setback of 50 feet from the boundary of property owned by the United States government and designated as the Blue Ridge Parkway if the buildings and structures are visible from the Blue Ridge Parkway roadway.

b. *Accessory buildings.* Accessory buildings and structures to be located adjacent to the Blue Ridge Parkway shall have a minimum setback of 30 feet from the boundary of property owned by the United States government and designated as the Blue Ridge Parkway if the buildings and structures are visible from the Blue Ridge Parkway roadway.

(2) *Building heights.* No building or structure shall be constructed with a height in excess of 40 feet within 1,000 feet of the centerline of the Blue Ridge Parkway, if visible from the centerline of the Blue Ridge Parkway roadway.

~~(3) *Buffering requirements.* A buffer for development of any type, other than single-family residential, which is to be located adjacent to the Blue Ridge Parkway within 1,000 feet of the centerline of the Blue Ridge Parkway and which will be visible between April and October from the Blue Ridge Parkway roadway, shall be provided according to the following specifications:~~

~~a. A minimum bufferyard width of 30 feet measured from the property line is required and shall be located within the required setback.~~

~~b. Total number of plants: Ten plants per 100 linear feet are required, of which five should be evergreen trees (min. six feet at planting), three should be large deciduous trees (min. two-inch caliper, ten to 12 feet at planting), and two should be small deciduous trees (min. 1.5-inch caliper, eight to ten feet at planting). The preservation of existing trees within the bufferyard is encouraged.~~

(3) *Screening standards.*

a. The following screening regulations shall be required within the Blue

Ridge Parkway Overlay District for all new structures and any modification to an existing structure exceeding 50 percent of the appraised value of the structure, if the buildings and structures are visible from the Blue Ridge Parkway roadway, as viewed from the closest point on the roadway perpendicular to the proposed structure.

The surfaces of the structure which are visible and oriented to the Blue Ridge Parkway must be screened by one overstory species for each 15 linear feet and one understory species for each 10 linear feet of the structure according to Sec. 78-584 (c). No single species shall comprise more than 50 percent of the overstory or understory species planted. Overstory species shall be planted no less than 10 feet apart and no more than 20 feet apart. Understory species shall be planted no less than five feet apart and no more than 15 feet apart. Overstory and understory species shall not be planted in a row, shall not be evenly spaced, and shall be positioned no more than 100 feet from the structure to be screened.

Existing trees within 100 feet of the structure to be screened which are left intact and that appear in good health can be credited toward the screening requirement. Existing overstory species may only receive credit for the overstory requirement and existing understory species may only receive credit for the understory requirement. The following credit system will be observed:

<u>Tree Dimensions</u>	<u>Credits</u>
<u>2.5" to 4" DBH (minimum 8' tall)</u>	<u>1 tree</u>
<u>4" to 8" DBH (minimum 15' tall)</u>	<u>1.5 trees</u>
<u>8" or greater DBH (minimum 20' tall)</u>	<u>2 trees</u>

Trees to be credited shall be marked using flagging tape prior to site disturbance in order to ensure their health throughout site development.

- b. The following screening regulations shall be required within the Blue Ridge Parkway Overlay District for any minor or major subdivision road located adjacent to the Blue Ridge Parkway boundary, if the subdivision road is visible from the Blue Ridge Parkway roadway, as viewed from the closest point on the Blue Ridge Parkway roadway to the proposed subdivision road.

The portion(s) of the subdivision road which is visible and oriented to the Blue Ridge Parkway must be screened by one understory species for

each 10 linear feet according the Sec. 78-584 (c). No single species shall comprise more than 50 percent of the understory species planted. Understory species shall be planted no less than five feet apart and no more than 15 feet apart. Understory species shall not be planted in a row, shall not be evenly spaced, and shall be positioned no more than 20 feet from the road to be screened.

Existing trees within 50 feet of the road to be screened which are left intact and that appear in good health can be credited toward the understory screening requirement. The credit system in subsection 78-643(c)(3)(a) will be observed.

(d) *Notice of proposed development.* The planning department shall assure that the National Park Service is notified and given an opportunity to make recommendations concerning major subdivisions, rezonings, conditional uses, and variances proposed within the Blue Ridge Parkway Overlay District.

DRAFT

ATTACHMENT H

Recommended Adoption of 2012 NC Fire Code - Appendix D, Section D106.1 & D104.3

Access for emergency service vehicles to any multi-family residential development is a life-safety issue, especially if a road or bridge is completely compromised.

The 2012 NC Fire Code Section D106.1 states:

“Projects having more than 100 dwelling units. Multi-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads.

Exception: Projects having up to 200 dwelling units may have a single approved fire apparatus access road when all buildings, including nonresidential occupancies, are equipped throughout with approved automatic sprinkler systems installed in accordance with Section 903.3.1.1 or 903.3.1.2.”

Section D104.3 states:

” Remoteness. Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.”

Unfortunately, provisions contained in this appendix are not mandatory unless specifically referenced in the adopting Buncombe County ordinance, which they are not.

I suggest the Planning Board and the Planning Department Staff recommend to the Buncombe County Commissioners that the fire code, and consequent life-safety issues, be strengthened by adopting and making mandatory the language of the 2012 NC Fire Code, Section D106.1 & D104.3.

This amendment would support the general objectives contained in the Fire Code and improve life-safety for residents in new large developments. This amendment would also be reasonable and in the public interest.